

ACTIVITY DETERMINATION

Determined by the New South Wales Land and Housing Corporation Project No. BGYYE

Conflict of Interest ¹	
In this matter:	
Head of Housing Portfolio 2. I do not consider I have ar	ny personal interests that would affect my professional judgement. ead of Housing Portfolio, Homes NSW as soon as I become aware
SignedSigned	Dated
Yolanda Gil Acting Executive Director, Port Housing Portfolio Homes NSW	folio Strategy and Origination
and the Review of Environment the Environmental Planning and	ation Recommendation Report, the Statement of Compliance tal Factors for this project addressing matters under Part 5 of Assessment Act 1979, I, as a delegate of the New South Wales
Land and Housing Corporation, subject to the identified require	, determine that the activity proceed as described below and ements set out in Schedule 1 .
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subject to the identified require	,
subject to the identified require	,
subject to the identified require SITE IDENTIFICATION STREET ADDRESS	ements set out in Schedule 1 .
subject to the identified require SITE IDENTIFICATION STREET ADDRESS Unit/Street No	ements set out in Schedule 1 . Street or property name
SUBject to the identified require SITE IDENTIFICATION STREET ADDRESS Unit/Street No 195 & 197 Suburb, town or locality	Street or property name Dibbs Street Postcode
SITE IDENTIFICATION STREET ADDRESS Unit/Street No 195 & 197 Suburb, town or locality East Lismore	Street or property name Dibbs Street Postcode 2480
subject to the identified require SITE IDENTIFICATION STREET ADDRESS Unit/Street No 195 & 197 Suburb, town or locality East Lismore Local Government Area(s)	Street or property name Dibbs Street Postcode 2480 Real property description (Lot and DP)

Provide a description of the activity

Demolition of 2 dwellings and construction of a multi-dwelling housing development comprised of 6 dwellings, (4 x 2 bedroom and 2 x 3 bedroom units), parking for 7 vehicles, associated site works, landscaping, tree removal, road widening works along Dibbs Street and consolidation of 2 lots into a single lot.

^{1.} Conflict of interest includes actual and potential. A conflict of interest includes pecuniary i.e. financial interests to you or a related party or non-pecuniary i.e. benefits to relatives, friends, business associates and personal causes, etc. This includes "related persons" as defined in the Property, Stock and Business Agency Act 2002.

Activity Determination 195 – 197 Dibbs Street, East Lismore

Signed.....Signed....

Dated......

Yolanda Gil Acting Executive Director, Portfolio Strategy and Origination Housing Portfolio Homes NSW

SCHEDULE 1

IDENTIFIED REQUIREMENTS

PART A - Standard Identified Requirements

THE DEVELOPMENT

The following Identified Requirements are to ensure that the residential activity is carried out in accordance with the plans / documents and any amendments arising from the Review of Environmental Factors under Part 5 of the Environmental Planning & Assessment Act 1979, Section 171 of the Environmental Planning and Assessment Regulation 2021 and the requirements of State Environmental Planning Policy (Housing) 2021.

1. The development shall be carried out substantially in accordance with the following plans / documents as modified below and by any of the undermentioned Identified Requirements:

Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
Architectural - Appendix A		'		
Coversheet	2882 / 0101	I	20.11.23	Webber Architects
Site & Block Analysis	2882 / 0201	I	20.11.23	Webber Architects
Demolition Plan	2882 / 0202	I	20.11.23	Webber Architects
Site Plan	2882 / 0203	J	20.11.23	Webber Architects
Shadow Diagrams	2882 / 0204	I	20.11.23	Webber Architects
Ground Floor Plan	2882 / 0301	J	20.11.23	Webber Architects
First Floor Plan	2882 / 0302	J	20.11.23	Webber Architects
Roof Plans (Block A&B)	2882 / 0330	I	20.11.23	Webber Architects
Elevations – Sheet 1	2882 / 0401	I	20.11.23	Webber Architects
Elevations – Sheet 2	2882 / 0402	I	20.11.23	Webber Architects
Streetscape elevation & sections	2882 / 0501	I	20.11.23	Webber Architects
Doors and Windows Schedule	2882 / 0801	В	21.09.23	Webber Architects
Landscape Plan – Appendix B				
Site Analysis	L01	F	20.11.23	Green Space Planning
Landscape Plan	L02	F	20.11.23	Green Space Planning
Plan Schedule	L03	F	20.11.23	Green Space Planning
Stormwater Plans – Appendix B				
Cover Sheet	8976-DA-000	1	26.10.23	Indesco
General Notes & Legends (1/2)	8976-DA-001	В	26.10.23	Indesco
General Notes & Legends (2/2)	8976-DA-002	1	11.08.23	Indesco
Stormwater Plan Sheet	8976-DA-100	1	26.10.23	Indesco
Stormwater Details	8976-DA-500	1	26.10.23	Indesco

Activity Determination 195 – 197 Dibbs Street, East Lismore

Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
OSD Tank Sections and Details Plan	8976-DA-501	1	26.10.23	Indesco
OSD Catchment Plan	8976-DA-601	1	26.10.23	Indesco
Erosion and Sediment Control Plan	8976-DA-800	1	26.10.23	Indesco
Erosion and Sediment Control Notes and Details	8976-DA-810	1	26.10.23	Indesco
Survey Plan – Appendix D		-		
Detail Survey	Survey Ref:151687	1	30.06.22	RPS Australia East
Notification Plans – Appendix E		'	'	
Cover Page	2882 / 0111	F	30.11.23	Webber Architects
Site & Landscape Plan	2882 / 0112	E	20.11.23	Webber Architects
Elevations 1	2882 / 0113	E	20.11.23	Webber Architects
Elevations 2	2882 / 0114	E	20.11.23	Webber Architects
Schedule of Finishes	2882 / 0115	E	20.11.23	Webber Architects
Shadow Diagrams	2882 / 0116	D	20.11.23	Webber Architects
Notification Letters & Submissions – Append	ix G			
Specialist Reports				
Access Report - Appendix H	PAA_22260	Revision 1	26.10.23	Purple Apple Access
Preliminary Tree Report – Appendix J	22034	Final	01.12.23	Northern Tree Care
BASIX Certificate – Appendix K	1424113M_04	-	30.11.23	-
Thermal Performance Specifications – Appendix L	437/2023	-	27.9.23	Evergreen Energy Consultants
NatHERS Certificate - Appendix N	0008952410	-	30.11.23	Evergreen Energy Consultants
Geotechnical Investigation Assessment – Appendix P	22/2250	-	June 2022	STS Geotechnics Pty Ltd
Waste Management Plan – Appendix R	-	Α	02.11.23	Webber Architects
Traffic and Parking Impact Assessment – Appendix S	-	-	14.09.23	SECA Solution

- 2. All building work is to be undertaken in accordance with the National Construction Code and referenced Australian Standards.
- **3.** All commitments listed in the BASIX certificate and stamped plans shall be implemented.
- 4. All construction documentation and building work is to be certified in accordance with Section 6.28 of the Environmental Planning and Assessment Act 1979.
- 5. The land the subject of this determination shall be consolidated into a single lot. The plan of consolidation shall be lodged at the NSW Land Registry Services and shall be registered prior to the occupation of the development. A copy of the registered plan shall be provided to the Land & Housing Corporation.

OPERATIONAL MATTERS

The following Identified Requirements relate to the use of the site and are to ensure that the activity and its operation do not interfere with the amenity of the surrounding area.

Stormwater Run-off

- 6. Stormwater shall be collected within the site and conveyed in a pipeline to the appropriate gutter or drain under the control of Lismore City Council substantially in accordance with the approved concept stormwater drainage plans.
- 7. Alterations to the natural surface contours or surface absorption characteristics of the site shall not impede, increase, or divert natural surface water runoff so as to cause a nuisance to adjoining property owners.
- **8.** All driveways shall be graded in such a manner as to provide continuous surface drainage flow paths to the appropriate points of discharge.
- **9.** To prevent water from entering buildings, surface waters shall be collected and diverted clear of the buildings by a sub-surface / surface drainage system.

Vehicular Access & Parking

- 10. A concrete vehicular crossing and layback shall be provided at the entrance/ exit to the property. The crossing and layback shall be constructed in accordance with Lismore City Council's standard requirements for residential crossings. The Council shall be provided with plans for the crossing and layback together with the payment of any council inspection fees.
- 11. Particular care shall be taken in the location of vehicular crossings and/or laybacks to avoid poles, pits etc. The cost of any necessary adjustments to utility mains and services associated with the construction of the layback / driveway shall be borne by the Land & Housing Corporation. Where required, obsolete gutter layback(s) shall be constructed as kerb in accordance with Lismore City Council's standards.

Note:

It is recommended that discussion be held with the relevant authorities before construction works commence.

12. Car parking spaces and the driveway shall be constructed of concrete or other approved hard surfaced materials. The spaces must be clear of obstructions and columns, permanently line marked and provided with adequate manoeuvring facilities. The design of these spaces must comply with AS 2890.1.

Site Works

13. All soil erosion and sediment control measures required to be put in place prior to the commencement of demolition / construction works shall be maintained during the entire period of the works until all the disturbed areas are restored by turfing, paving or revegetation. Soil erosion and sediment control measures shall be designed in accordance with the guidelines set-out in the Blue Book *Managing Urban Stormwater:* Soils and Construction (4th edition, Landcom, 2004).

14. An appropriately qualified person shall design retaining walls or other methods necessary to prevent the movement of excavated or filled ground, including associated stormwater drainage measures.

Building Siting

15. All buildings shall be sited well clear of any easements affecting the site. The builder shall ascertain if any easements do exist and, if they do, obtain full details of such prior to construction commencing.

Smoke Detection System(s)

- 16. Smoke detection systems shall be installed throughout the buildings in accordance with requirements of the National Construction Code. Detectors and alarms shall comply with AS 3786 and AS 1670 and must:
 - i. be connected to a permanent 240V power supply; and
 - ii. be provided with a battery backup to activate the alarm unit in the event of failure of the permanent power supply.

Site Soil Contamination

17. If the site is identified as being potentially affected by soil contamination, it shall be inspected by a suitably qualified person to identify any contaminated or hazardous material present. A proposal for remediation shall be prepared, which may include preparation of a Remedial Action Plan, and remediation shall be carried out in accordance with the proposal. A Validation Report, prepared in accordance with Environment Protection Authority requirements, shall be obtained from a qualified expert on completion of the remediation work to verify that the site is suitable for the intended residential use. A copy of the Validation Report shall be provided to the Land & Housing Corporation on completion of the remediation works.

Landscaping

- **18.** Landscaping shall be carried out substantially in accordance with the approved Landscape Plan(s), except as modified by;
 - i) The turfed areas identified as "lawn" on the approved landscape plan for all 6 units, aside from the eastern "lawn" area for Unit 4 must be amended to mulched gardens with ground covers planted at a density of at least 4 plants per square metre.

All landscaping shall be maintained for a period of 12 months by the building contractor. Lismore City Council shall be consulted in relation to the planting of any street trees.

19. All scheduled plant stock shall be pre-ordered, prior to commencement of construction or 3 months prior to the commencement of landscape construction works, whichever occurs sooner, for the supply to the site on time for installation. The builder shall provide written confirmation of the order to the Land & Housing Corporation.

Tree Removal

20. Removal of trees within the boundaries of the site is to be carried out in accordance with the trees shown for removal on the approved Landscape Plan and Preliminary Tree Report. Additionally, those trees (T25 and T26) located on the northern adjoining land

Activity Determination 195 – 197 Dibbs Street, East Lismore

are approved for removal as landowners' consent from this property owner (dated 14 January 2024) has been obtained.

No other trees shall be removed without further approval(s).

Fencing

21. All front fencing and gates shall be constructed wholly within the boundaries of the site.

Any gates associated with the fencing shall swing inwards towards the site.

Provision of Letterbox Facilities

22. Suitable letterbox facilities are to be provided in accordance with Australia Post specifications.

Public Liability Insurance

23. A valid public liability insurance policy of at least \$10M shall be maintained throughout the demolition / construction works by the contractor.

PRIOR TO ANY WORK COMMENCING ON THE SITE

The following Identified Requirements are to be complied with prior to any work commencing on the site, including demolition.

Disconnection of Services

- 24. All services that are required to be disconnected shall be appropriately disconnected and made safe prior to commencement of the demolition / construction works. The various service authorities shall be consulted regarding their requirements for the disconnection of services.
- **25.** All existing services within the boundary to remain live shall be identified, pegged and made safe.

Demolition

- 26. The builder shall notify the occupants of premises on either side, opposite and at the rear of the site a minimum of 5 working days prior to demolition. Such notification shall be clearly written on an A4 size paper giving the date demolition will commence and be placed in the letterbox of every premise (including every unit in a multi-unit residential building or mixed use building). The demolition shall not commence prior to the date that is stated in the notice letter.
- 27. Prior to the demolition, a Work Plan shall be prepared by a competent person(s) in accordance with AS 2601 and shall be submitted to the Land & Housing Corporation. The Work Plan shall outline the identification of any hazardous materials (including surfaces coated with lead paint), method of demolition, the precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials.
- 28. If buildings to be demolished are determined as, or suspected of, containing asbestos cement, a standard commercially manufactured sign containing the words 'DANGER ASBESTOS REMOVAL IN PROGRESS', and measuring not less than 400mm x 300mm,

Activity Determination 195 – 197 Dibbs Street, East Lismore

shall be erected in a prominent visible position on the site for the duration of the demolition works.

Note:

Any buildings constructed before 1987 is assumed to contain asbestos.

Utilities Service Provider Notification

29. The demolition / construction plans shall be submitted to the appropriate water utility's office (e.g., Lismore City Council /Sydney Water office etc.) to determine whether or not the development will affect the utility's sewer and water mains, stormwater drains and any easements.

Note:

If the development complies with water utility's requirements, the plans will be stamped indicating that no further requirements are necessary.

Council Notification

30. Lismore City Council shall be advised in writing, of the date it is intended to commence work, including demolition. A minimum period of **5** working days notification shall be given.

Site Safety

- 31. A sign shall be erected in a prominent position on any site on which demolition or building work is being carried out:
 - (a) showing the name, address, and telephone number of the responsible Land & Housing Corporation officer for the work, and
 - (b) showing the name of the principal contractor (if any) and a telephone number on which that person may be contacted outside working hours, and
 - (c) stating that unauthorised entry to the work site is prohibited.

The sign shall be maintained while the work is being carried out but shall be removed when the work has been completed.

Note:

This Requirement does not apply in relation to building work that is carried out inside an existing building that does not affect the external walls of the building.

32. A minimum 1.8m high security fence or Class A / Class B (overhead) hoarding must be erected between the work site and any public place prior to demolition / construction. Access to the site shall be restricted to authorised persons only and the site shall be secured against unauthorised entry when demolition / construction work is not in progress, or the site is otherwise unoccupied.

Note:

Approval from the relevant road's authority will be required under Section 138 of the Roads Act 1993 where a Class A or B hoarding encroaches onto the footpath of / or a public thoroughfare within a classified road.

33. No building or demolition materials are to be stored on the footpath or roadway.

Site Facilities

- **34.** The following facilities shall be installed on the site:
 - (a) Toilet facilities shall be provided at the rate of 1 toilet for every 20 persons or part thereof employed at the site. Each toilet provided shall be a standard flushing toilet and shall be connected to a public sewer or if connection to a public sewer is not practicable, to an accredited sewerage management facility provided by Lismore City Council or if this is not practicable to some other council approved management facility.
 - (b) Adequate refuse disposal methods and builders' storage facilities. Builders' wastes, materials or sheds shall not to be placed on any property other than that which this approval relates to.
- **35.** Access to the site shall only be provided via an all-weather driveway on the property and is not to be provided from any other site.

Protection of Trees

36. Trees and other vegetation that are to be retained on site and within the Dibbs Street verge, shall be protected prior to the commencement of works and for the duration of the construction period in accordance with the details provided in the Preliminary Tree Report.

Waste Management

37. A final Waste Management Plan shall be prepared and submitted to the Land & Housing Corporation by the building contractor prior to the commencement of demolition / construction. The plan shall detail the amount of waste material and the destination of all materials, recyclable and non-recyclable.

PRIOR TO ANY CONSTRUCTION WORK COMMENCING ON SITE

The following Identified Requirements are to be complied with prior to any construction works occurring on the site, excluding demolition.

Service Authority Clearances

38. A compliance certificate, or other evidence, shall be obtained from the relevant water utility provider, confirming service availability prior to work commencing.

Note:

Payment of water and/or sewer service charges and/or a notice of requirements for works to be carried out during construction / prior to occupation may be applicable prior to issue of the compliance certificate.

- **39.** A written clearance from an electricity supply authority stating that electrical services are available to the site, or that arrangements have been entered into for the provision of services to the site, shall be obtained prior to work commencing.
- **40.** A certificate from an approved telecommunications carrier certifying that satisfactory arrangements have been made for the provision of underground telephone services, to the site and to each dwelling, shall be obtained prior to work commencing.

41. Where the site is to be connected to reticulated gas, a certificate from an approved gas carrier to certify that satisfactory arrangements have been made to ensure the provision of underground gas services to each dwelling in the development shall be obtained prior to work commencing.

Stormwater Disposal

42. A detailed stormwater drainage plan(s), substantially in accordance with the approved concept stormwater drainage plan(s), shall be prepared and submitted to the Land & Housing Corporation. Any on-site detention system shall be designed in accordance with the relevant catchment authority's requirements (e.g. the Upper Parramatta River Catchment Trust On-site Detention Handbook) and/or Lismore City Council's drainage code.

DURING DEMOLITION AND CONSTRUCTION WORKS

The following Identified Requirements are to be complied with whilst demolition and construction works are occurring on the site.

Landfill

- **43.** Where site filling is necessary, a minimum of 95% standard compacting shall be achieved and certified by a NATA registered Soils Lab.
- **44.** Land fill materials must satisfy the following requirements:
 - i. be Virgin Excavated Natural Matter (VENM);
 - ii. be free of slag, hazardous, contaminated, putrescible, toxic or radio-active matter; and
 - iii. be free of industrial waste and building debris.

Heritage

- 45. Historic and indigenous archaeological sites and relics are protected under the *Heritage Act 1977* and *National Parks and Wildlife Act 1974*, respectively. Should any relics be uncovered during the course of the approved works, work must cease immediately in the affected area. Subsequently, in cases where historical items have been uncovered, the Department of Climate Change, Energy, the Environment and Water must be contacted.
- 46. All workers / contractors on the site shall be informed of their obligations, under the Heritage Act and *National Parks and Wildlife Act 1974*, that it is illegal to disturb, damage or destroy a relic without the prior approval from the Department of Climate Change, Energy, the Environment and Water.

Demolition

- **47.** Any existing structures identified for demolition shall be demolished prior to commencement of the construction of the activity.
- **48.** Demolition shall be carried out in accordance with the appropriate provisions of AS 2601.

- **49.** Where materials containing asbestos are to be removed, demolition shall be carried out by a licensed contractor(s) who have current SafeWork NSW accreditation in asbestos removal.
- **50.** Removal of asbestos-based thermal or acoustic insulation, such as sprayed asbestos and asbestos-based lagging, including friable asbestos boards, shall be carried out in accordance with the National Occupational Health and Safety Commission's Code of Practice for the Safe Removal of Asbestos, 2nd Edition [NOHSC:2002 (2005)].
- 51. Hazardous or intractable wastes, including all asbestos laden waste, arising from the demolition process shall be removed and disposed of in accordance with the requirements of SafeWork NSW the Department of Climate Change, Energy, the Environment and Water.
- **52.** Documentary evidence, in the form of tip receipts from an approved Waste Management Facility, shall be obtained by the demolition contractor and submitted to the Land & Housing Corporation demonstrating the appropriate disposal of the asbestos waste.
- **53.** Demolition procedures shall maximise the reuse and recycling of demolished materials in order to reduce the environmental impacts of waste disposal.
- **54.** During demolition, the public footpath and the public road shall not be obstructed by any vehicles. The public road and footpath shall be swept (not hosed) clean of any material, including clay, soil and sand.
- 55. All vehicles leaving the site with demolition materials shall have their loads covered and vehicles shall not track soil and other material onto the public roads and footpaths. The footpath shall be suitably protected against damage when plant and vehicles access the site. All loading of vehicles with demolished materials shall occur on site.

Survey Reports

56. Survey reports shall be submitted by the building contractor to the Land & Housing Corporation prior to the placement of the footings / slab and on completion of the dwellings to verify the correct position of the structures in relation to the allotment boundaries.

Hours of Demolition / Construction / Civil Work

57. Demolition / construction / Demolition / construction / civil work shall only occur on the site between the hours of 7.00am to 5.00pm Monday to Saturday with no work permitted on Sundays or public holidays.

Excavation & Backfilling

58. All excavations and backfilling associated with the demolition or erection of building(s) shall be executed safely and in accordance with appropriate professional standards. All such work shall be guarded and protected to prevent it from being dangerous to life or property.

Pollution Control

59. Any noise generated during the construction of the development shall not exceed the limits specified in the July 2009 Interim Construction Noise Guidelines, published by the former Department of Environment and Climate Change.

- **60.** No fires shall be lit or waste materials burnt on the site.
- 61. No washing of concrete forms or trucks shall occur on the site.
- 62. Any contamination / spills on the site during construction works shall be actively managed and reported immediately to appropriate regulatory authorities to minimise any potential damage to the environment.
- 63. Dust generation during demolition / construction shall be controlled using regular control measures such as on site watering or damp cloth fences.
- 64. All vehicles transporting loose materials and travelling on public roads shall be secured (i.e. closed tail gate and covered) to minimise dust generation.
- 65. Non-recyclable waste and containers shall be regularly collected and disposed of at a licensed landfill or other disposal site in accordance with details set out in the final Waste Management Plan.

Impact of Construction Works

- **66.** The Land & Housing Corporation shall bear the cost of any necessary adjustments to utility mains and services.
- 67. Care shall be taken to prevent any damage to adjoining properties. The building contractor shall be liable to pay compensation to any adjoining owner if, due to demolition/construction works, damage is caused to such adjoining property.

Termite Protection

68. To protect buildings from subterranean termite, termite barriers installed in accordance with AS 3660.1, shall be placed on the underside and in penetrations of the concrete slab floor.

In addition, a durable notice must be permanently fixed inside the meter box indicating:

- (a) the method of protection,
- (b) the date of installation of the system,
- (c) where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label, and
- (d) the need to maintain and inspect the system on a regular basis.

PRIOR TO OCCUPATION OF THE DEVELOPMENT

The following Identified Requirements are to be complied with prior to the occupation of the development.

General

69. The use or occupation of the development shall not commence until all the Identified Requirements of this determination have been complied with.

Council Infrastructure Damage

70. The cost of repairing any damage caused to Lismore City Council's assets in the vicinity of the site as a result of demolition / construction works shall be met in full by the building contractor.

Stormwater Drainage

- 71. Prior to occupation, a Work As Executed Plan shall be prepared by the building contractor clearly showing all aspects of the constructed stormwater drainage system, including any on-site detention system. The plan shall demonstrate general compliance with the approved concept stormwater drainage plan(s) and shall include:
 - sufficient levels and dimensions to verify the constructed storage volumes; and
 - location and surface levels of all pits; and
 - invert levels of the internal drainage lines, orifice plates fitted and levels within the outlet control pits; and
 - finished floor levels of all structures; and
 - verification that any required trash screens have been installed; and
 - locations and levels of any overland flow paths; and
 - verification that any drainage lines are located wholly within easements, where applicable.

The Work-As-Executed Plan information shall be shown on the final civil works drawings.

A positive covenant and restriction-as-to-user shall be placed over the onsite detention system in accordance with Lismore City Council's on-site detention policy to ensure that the system will be adequately maintained. The positive covenant and restriction-as-to-user shall be registered at NSW Land Registry Services prior to occupation. A copy of the registered restriction-as-to-user shall be provided to the Land & Housing Corporation and Lismore City Council.

PART B - Additional Identified Requirements

Site Specific Requirements

72. Air Conditioning

Design and Installation

Air conditioning units as illustrated on architectural plans, must be designed, specified and installed to ensure that they comply with the requirements of the *Protection of the Environment Operations (Noise Control) Regulations 2017* and must not emit a noise that exceeds 5dB(A) above the ambient background noise level measured at any property boundary. Acoustic treatment may be required to ensure this is achieved.

Certification, from an appropriately qualified acoustic consultant, shall be provided at construction documentation stage that the air conditioning units can comply with this requirement.

Further certification, from an appropriately qualified acoustic consultant, shall be provided prior to occupation that the installed air conditioning units comply with this requirement.

Activity Determination 195 – 197 Dibbs Street, East Lismore

On-Going

The use of any air-conditioning unit must comply with the requirements of the *Protection* of the *Environment Operations (Noise Control) Regulations 2017* and must not:

- (a) emit a noise that is audible within a habitable room in any adjoining residence (regardless of whether any door or window to that room is open);
 - (i) before 8.00 am and after 10.00 pm on any Saturday, Sunday or Public Holiday; or (ii) before 7.00 am or after 10.00 pm on any other day;
- (b) emit a noise that exceeds 5dB(A) above the ambient background noise level measured at any property boundary.
- 73. Solar (photovoltaic electricity generating) energy system

Where a solar energy system is proposed it must satisfy the following requirements:

- the system is installed in accordance with the manufacturer's specifications or by a person who is accredited by the Clean Energy Council for the installation of photovoltaic electricity generating systems, and
- the solar energy system must not reduce the structural integrity of any building to which the system is attached, and
- the system must not involve mirrors or lenses to reflect or concentrate sunlight, and
- the system must not protrude more than 0.5m from the wall or roof (as measured from the point of attachment), and
- the system is installed no less than 0.9m from any adjoining property boundary.

Where a solar energy system is proposed it must demonstrate compliance with the above requirements at Crown Certification stage.

74. Updated BASIX Certificate

An updated BASIX Certificate prepared by an appropriately qualified person is to be provided at construction documentation stage detailing the inclusion of air conditioning and solar (photovoltaic energy generating) energy system.

Requirements Resulting from Council Comments

- 75. Prior to construction works commencing, LAHC must test the existing water and sewer infrastructure to establish that the infrastructure has adequate capacity to service the development. Should upgrades to these services be required, LAHC must consult with Council on the design and construction methods.
- 76. The existing easement for sewer which benefits 195 Dibbs Street (Lot 20 DP 20770) must be extinguished upon the consolidation of 195 Dibbs Street and 197 Dibbs Street. A minimum clearance of 1.5m must be achieved for any new fencing and new or existing sewer pipelines at the site.
- 77. Following demolition but, prior to the commencement of any construction works a site clearance certificate is to be issued by a suitably qualified occupational hygienist confirming that the land is suitable for residential development.

ADVISORY NOTES

i. Approval of this development activity does not imply or infer compliance with Section 23 of the *Disability Discrimination Act 1992*. Refer to AS 1428.1 and the National Construction Code for detailed guidance.

Activity Determination 195 – 197 Dibbs Street, East Lismore

ii.	Information regarding the location of underground services may be obtained from Dial Before You Dig at www.1100.com.au or by dialing 1100.



DECISION STATEMENT

SITE IDENTIFICATION	
STREET ADDRESS	
Unit/Street No. 195 & 197	Street or property name Dibbs Street
Suburb, town or locality East Lismore	Postcode 2480
Local Government Area(s) Lismore	Real property description (Lot and DP) Lot 20 in DP 20770 and Lot 1 in DP 12149
ACTIVITY DESCRIPTION	
Provide a description of the activity	
dwellings, (4 x 2 bedroom and 2 x	struction of a multi-dwelling housing development comprised of 6 3 bedroom units), parking for 7 vehicles, associated site works, idening works along Dibbs Street and consolidation of 2 lots into

The Land & Housing Corporation (LAHC) has proposed the above activity under the provisions of *State Environmental Planning Policy (Housing)* 2021 (Housing SEPP) which requires determination under Part 5 of the *Environmental Planning* & *Assessment Act* 1979 (EP&A Act). This Decision Statement relates to the Review of Environmental Factors (REF) for the above activity prepared under Part 5 of the EP&A Act and the *Environmental Planning and Assessment Regulation* 2021.

Based on the REF document and supporting documentation, including advice from Lismore City Council a decision to proceed with the proposed activity has been made. This decision included consideration of the following:

Significant Impact on the Environment

- The proposed activity is not likely to have a significant impact on the environment and therefore an EIS is not required.
- The proposed activity will not be carried out in a declared area of outstanding biodiversity value and is not likely to significantly affect threatened species, populations or ecological communities, or their habitats or impact biodiversity values, meaning a SIS and/or BDAR is not required.

Reasons for the Decision

 Following an assessment of the proposed activity and associated environmental impacts within the REF document it was decided that the proposed development will have economic and social benefits and any minor short-term impacts on the environment or surrounding properties can be appropriately mitigated. The proposed development will assist in the provision of much needed social and affordable housing and assist in addressing the existing and growing demand for housing in the local government area.

Mitigation Measures

 Mitigation measures are required to minimise or manage environmental impacts and are detailed throughout the REF and specifically within Section 8. All mitigation measures are detailed as Identified Requirements within the Activity Determination. Additional mitigation measures, detailed in the Activity Determination have been imposed to minimise the impact on the surrounding environment, ensure appropriate site safety and to ensure legislative compliance.

Yolanda Gil Acting Executive Director, Portfolio Strategy and Origination Housing Portfolio Homes NSW

LAND AND HOUSING CORPORATION LAHC EAST LISMORE MULTI-DWELLING HOUSING

195 - 197 DIBBS ST EAST LISMORE NSW 2480

JOB NO.BGYYE

LOT 20 DP 20770; LOT 1 DP 121490

	DRAWING LIST
DWG	DRAWING NAME
0101	COVERSHEET
0201	SITE & BLOCK ANALYSIS
0202	DEMOLITION PLAN
0203	SITE PLAN
0204	SHADOW DIAGRAMS
0301	FLOOR PLAN - GROUND
0302	FLOOR PLAN - LEVEL 1
0330	ROOF PLAN
0401	ELEVATIONS - SHEET 1
0402	ELEVATIONS - SHEET 2
0501	SECTIONS - SHEET 1

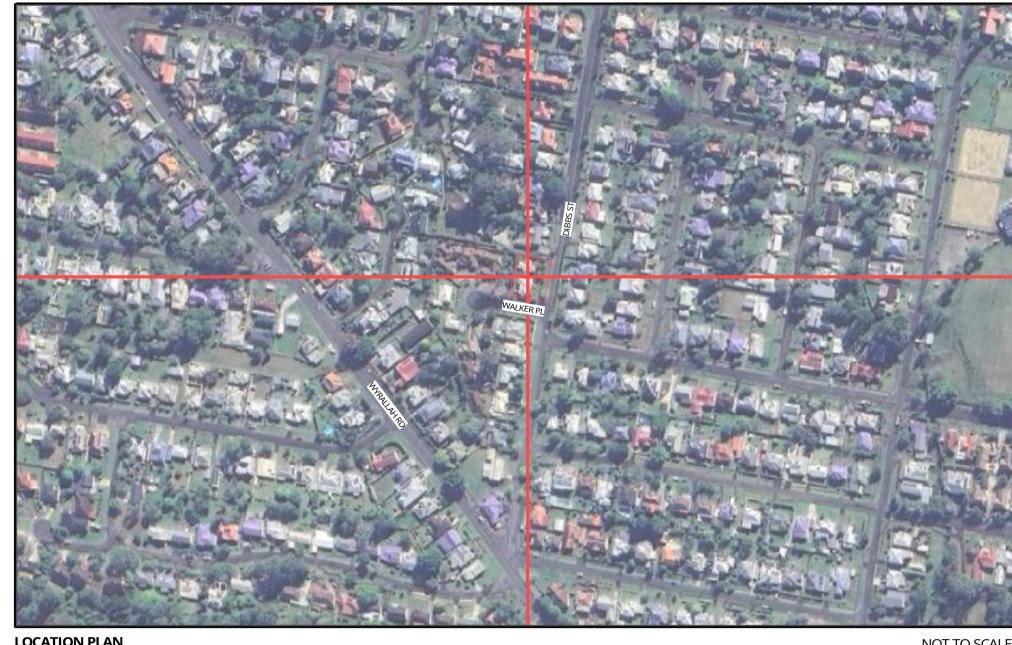
	<u>'</u>
	ABBREVIATIONS LEGEND.
AC	AIR CONDITIONING
AW1	AWNING - TYPE 1
AW2	AWNING - TYPE 2
BW1	BRICK WALL - TYPE 1
CL1	CLOTHES LINE - TYPE 1
CON1	CONCRETE - TYPE 1
CPT1	CARPET - TYPE 1
CPT2	CARPET - TYPE 2
DP1	DOWNPIPE - TYPE 1
DPS	DOWNPIPE SPREADER
EG1	EAVES GUTTER - TYPE 1
F1	FENCE - TYPE 1
F2	FENCE - TYPE 2
F3	FENCE - TYPE 3
FB1	FACE BRICK - TYPE 1
FT1	FLOOR TILES - TYPE 1
FT2	FLOOR TILES - TYPE 2
G1	GATE - TYPE 1
G2	GATE - TYPE 2
HWS	HOT WATER SYSTEM
LB	LETTER BOX
LWC1	LIGHT WEIGHT CLADDING - TYPE 1
MRC	METAL ROOF CAPPING
MRS1	METAL ROOF SHEETING - TYPE 1
MRS2	METAL ROOF SHEETING - TYPE 2
PB1	PLASTERBOARD - TYPE 1
PPB	PAINTED PLASTERBOARD
PVS	PHOTOVOLTAIC SOLAR PANELS
RW	RETAINING WALL
RWT	RAIN WATER TANK
SKY	SKYLIGHT
TV	TELEVISION
WT1	WALL TILE - TYPE 1
XF	EXISTING FENCE
XPP	EXISTING POWER POLE
VDW	EVICTING DETAINING WALL

IS AMENITIES, FACILITIES, AND FIRST AID SERVICES IS HIGH RISK ACTIVITIES ASSOCIATED WITH LIVE ELECTRICAL HAZARDS IS HIGH RISK ACTIVITIES ASSOCIATED WITH EARTHWORKS / EXCAVATION IS HIGH RISK ACTIVITIES ASSOCIATED WITH FIRE AND EMERGENCIES IS HIGH RISK ACTIVITIES ASSOCIATED WITH MANUAL TASKS AND/OR MAINTENANCE ACCESS IS HIGH RISK ACTIVITIES ASSOCIATED WITH NOISE EXPOSURE IS HIGH RISK ACTIVITIES ASSOCIATED WITH PLANT EQUIPMENT IS HIGH RISK ACTIVITIES ASSOCIATED WITH THE MOVEMENT OF PEOPLE AND/OR MATERIALS IS PROJECT SPECIFIC RISKS - OUTLINED BELOW WHERE APPLICABLE IS HIGH RISK ACTIVITIES ASSOCIATED WITH HAZARDOUS SUBSTANCES
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S HIGH RISK ACTIVITIES ASSOCIATED WITH HAZARDOUS SUBSTANCES
S HIGH RISK ACTIVITIES ASSOCIATED WITH STRUCTURAL SAFETY AND/OR DEMOLITION WOR
S HIGH RISK ACTIVITIES ASSOCIATED WITH WORKING ENVIRONMENT AND/OR D SPACES
S HIGH RISK ACTIVITIES ASSOCIATED WITH WORKING AT HEIGHTS AND/OR FALLING OBJECTS
S

CONT	RACTORS REQUIREMENTS
SD1	THE SAFETY RISK MITIGATION ITEMS BELOW ARE BASED ON WEBBER ARCHITECT'S DESIGN OFFICE EXPERIENCE AND DO NOT NECESSARILY ACCOUNT FOR ALL CONSTRUCTION, OPERATION, MAINTENANCE AND DEMOLITION SAFETY RISKS BASED ON INFORMATION AVAILABLE WHEN THIS DRAWING WAS MADE, IN ITS CAPACITY AS DESIGNER ONLY, WEBBER ARCHITECTS HAS ATTEMPTED TO IDENTIFY SAFETY RISKS PERTAINING TO CONSTRUCTION, OPERATION, MAINTENANCE AND DEMOLITION PHASES OF THE BUILDING OR ASSET. INCLUSION (OR NOT) OF ANY ITEM DOES NOT REDUCE OR LIMIT OBLIGATIONS OF THE CONSTRUCTOR, USER, MAINTAINER AND DEMOLISHER TO UNDERTAKE APPROPRIATE RISK MANAGEMENT ACTIVITIES TO REDUCE RISK AND IS NOT AN ADMISSION BY WEBBER ARCHITECTS THAT INCLUSION OF ANY ITEM IS THE DESIGNER'S RESPONSIBILITY.
SD2	ESTABLISH A SECURE CONSTRUCTION ZONE TO INCORPORATE THE ENTIRE WORKSITE BY MEANS OF TEMPORARY FENCING, HOARDING OR SIMILAR TO EXCLUDE ACCESS TO UNAUTHORISED PERSONS. MAINTAIN A CONTROLLED ENTRY & SITE INDUCTION PROCESS FOR VEHICLES AND CONTRACTORS.
SD3	ESTABLISH A SITE SHED OR OFFICE WITHIN THE CONSTRUCTION ZONE. LOCATE NEAR CONTRACTOR AMENITIES, ACCESS TO COMMUNICATIONS, FIRST AID, POTABLE WATER SUPPLY & TEMPORARY FIRE FIGHTING EQUIPMENT. DETERMINE EMERGENCY EVACUATION POINTS, ACCESS FOR EMERGENCY SERVICES & CONGREGATION AREAS. INFORM ALL PERSONS DURING THE SITE INDUCTION PROCESS. DISPLAY AFTER HOURS EMERGENCY CONTACT DETAILS IN A PROMINENT POSITION ON THE SITE.
SD4	OBTAIN ALL AVAILABLE INFORMATION OF THE EXISTING SITE OR BUILDING STRUCTURE PRIOR TO COMMENCEMENT ON SITE, INCLUDING HAZMAT REPORT, GEOTECHNICAL INVESTIGATION, DIAL BEFORE YOU DIG INFORMATION, BUILDING CONDITION REPORT OR THE LIKE. DETERMINE LOCATION OF HAZARDS & HAZARDOUS MATERIALS OR AREAS BY MEANS OF SUPPLIED INFORMATION AND DEMARCATE.
SD5	PRIOR TO UNDERTAKING THE FOLLOWING, NOTIFY ALL AFFECTED PARTIES, CONSULTANTS, CONTRACTORS, NEIGHBOURING PROPERTIES, BUILDING OCCUPANTS & STATUTORY AUTHORITIES OF COMMENCEMENT OF WORK, DELIVERY & HEAVY VEHICLE MOVEMENTS, SERVICE OUTAGES, DUST OR NOISE GENERATING ACTIVITIES, DEMOLITION, HAZARDOUS SUBSTANCES REMOVAL OR THE LIKE.
SD6	MAINTAIN A CLEAN AND TIDY SITE AT ALL TIMES TO REDUCE THE CHANCE OF SLIPS, TRIPS OR INJURY TO SITE OCCUPANTS. STOCKPILE MATERIALS & IMPLEMENT A DESIGNATED WASTE MANAGEMENT STRATEGY.
SD7	DETERMINE THE IMPACT OF THE WORKS ON PUBLIC ROADS, TRAFFIC OR PEDESTRIAN PATHS. IMPLEMENT MEASURES TO MITIGATE THIS IMPACT.
SD8	INSTALL TEMPORARY MEASURES OR CONSTRUCT PERMANENT BUILDING ELEMENTS THAT CONTRIBUTE TO SAFETY SUCH AS HANDRAILS AND TOE BOARDS, SCAFFOLDING, FALL ARREST SYSTEMS, FALLING OBJECT CONTROL, ACCESS STAIRS, WASTE CHUTES AND THE LIKE AS EARLY AS POSSIBLE. PROVIDE SAFETY BARRIERS AT EDGES OF OPENINGS AND ELEVATED AREAS.
SD9	REVIEW ADEQUACY OF WORKING SPACE AVAILABLE FOR CONSTRUCTION ACTIVITIES. ENSURE SEPARATION OF PLANT AND PERSONNEL ON SITE, INCLUDING MOVEMENTS OF BOTH. PROVIDE PROTECTION TO PERSONNEL FROM PLANT & EQUIPMENT IF NECESSARY.
SD10	LOCATE LIFTING SLEW AND LAYDOWN AREAS AWAY FROM REGULAR CONSTRUCTION TRAFFIC. LOCATE STOCKPILES & HEAVY EQUIPMENT INCLUDING CRANES AWAY FROM BURIED SERVICES AND BUILDING BOUNDARIES. SEEK ADVICE FROM SUITABLY QUALIFIED GEOTECHNICAL OR STRUCTURAL ENGINEER PRIOR TO HEAVY SURFACE PLANT & EQUIPMENT OR STOCKPILING NEAR OPEN EXCAVATIONS OR RETAINING STRUCTURES.
SD11	ENSURE ISOLATION SAFE SYSTEMS OF WORK OR PROTECTIVE MEASURES ARE INSTALLED BEFORE WORKING NEAR LIVE ELECTRICAL OR BUILDING SERVICES INFRASTRUCTURE. PROVIDE PROTECTION OF EXISTING & NEW ELECTRICAL SYSTEMS DURING CONSTRUCTION.
SD12	OBTAIN PERMITS, GROUND SERVICES SEARCH, GEOTECHNICAL EXCAVATION & STRUCTURAL OR CIVIL ENGINEER'S RECOMMENDATION PRIOR TO EXCAVATION GRATER THAN 1 METRE DEPTH OR ADJACENT EXISTING OR PROPOSED BUILDINGS, FOUNDATIONS, RETAINING WALLS OR STRUCTURES. MITIGATE RISK OF COLLAPSE DUE TO GROUND OR SURFACE WATER, OR UNSUITABLE SOIL CONDITIONS. WRITTEN RISK ASSESSMENTS AREA ADVISED FOR ACCESS TO OPEN EXCAVATIONS. PROVIDE ACCESS & EGRESS TO EXCAVATIONS APPROPRIATE IN CASE OF INUNDATION, COLLAPSE OR ENGULFMENT.
SD13	SEEK ADVICE FROM SUITABLY QUALIFIED STRUCTURAL ENGINEER IF PLANNING CRANE LIFTS OR HOIST INSTALLATION ON PARTIALLY ERECTED OR SUSPENDED STRUCTURES.
SD14	SEEK ADVICE FROM SUITABLY QUALIFIED STRUCTURAL ENGINEER BEFORE CORING, CHASING, CUTTING OR REMOVAL OF EXISTING OR NEW CONCRETE & REINFORCEMENT. INSTRUCT SERVICES CONTRACTORS UNDER NO CIRCUMSTANCES CAN STRUCTURAL MEMBERS BE CUT OR DRILLED TO ACCOMMODATE NEW SERVICES WITHOUT PRIOR WRITTEN APPROVAL FROM A SUITABLY QUALIFIED STRUCTURAL ENGINEER.
SD15	ESTABLISH LOCATIONS OF LIVE EMBEDMENT BEFORE CUTTING THROUGH SLABS, WALLS ETC.
SD16	DEVELOP STRUCTURAL STEELWORK, SUSPENDED CONCRETE, ROOF AND ELEVATED FRAME INSTALLATION SAFE WORK METHOD STATEMENT TO ELIMINATE & MINIMISE INSTALLATION RISKS PRIOR TO COMMENCEMENT AND HAVE A SUITABLY QUALIFIED ENGINEER REVIEW PRIOR TO ERECTION.
SD17	MINIMISE SITE BASED TREATMENTS (EG. WELDING, CUTTING, SPRAY PAINTING, GRIT BLASTING, HAZARDOUS MATERIALS AND CHEMICAL STORAGE). ENSURE ADEQUATE PROTECTION, SCREENING AND VENTILATION TO MINIMISE RISK TO PERSONNEL IF SITE TREATMENT IS UNAVOIDABLE.
SD18	AVOID WORKING IN CONFINED SPACES. IF CONFINED SPACES WORK CAN'T BE AVOIDED, PROVIDE A SAFE WORK METHOD STATEMENT ADDRESSING MITIGATION OF RISKS. PROVIDE ADEQUATE SIGNAGE TO TEMPORARY AND PERMANENT CONFINED SPACES TO AS 2865.
SD19	AVOID HOT WORKS ON SITE PARTICULARLY IN TIMBER FRAMED STRUCTURES. HOT WORKS TO COMPLY WITH REQUIRED PROCEDURES OR 'APPLICABLE HOT WORKS' PERMITS.
SD20	FACILITATE REGULAR SITE OCCUPATIONAL HEALTH & SAFETY INSPECTIONS BY THE CLIENT OR CLIENT'S REPRESENTATIVE TO MEET THE REQUIREMENTS OF THE CONTRACT AND CURRENT LEGISLATION. MAINTAIN A HARD COPY OF SITE OH&S RECORDS AND POLICIES ON SITE AT ALL TIMES.
SD21	OBTAIN A COPY OF THE FOLLOWING PROJECT SPECIFIC INFORMATION FROM THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK AND DISTRIBUTE TO RELEVANT PARTIES: - DIAL BEFORE YOU DIG - BUILDING CONDITION REPORT - SITE SURVEY

Email address: enqui		rgreen Energy Cons rgreenec.com.au	suitants		Ph: 130	0 584 010
Assessor Certificate. It precedence. If only one apply to all instances o location and extent of t referenced documentary	ation was f they vary e specifica f that elen the alterna tion.	tant Note for Developm used to achieve the the v from drawings or other tion option is detailed for nent for the whole project te specification must be	rmal perfo specificat a building . If alterna detailed bo	ormance valuions this Spe gelement, the te specificati elow and / or	ecification at specifica ons are de clearly ind	shall take ation must tailed, the dicated on
condition of consent a requirements, the prop contact Evergreen Ene	and must l cosed cons ergy Consu	oved by the consent autope included in the built wastruction varies to those cultants. That the BCA provisions for	vorks. If y letailed or	ou do not w need further	ant to inclur information	ude these on, please
construction.					be compile	sa with at
		nermal Performance Spe				
External Wall Constr		Insulation	Coloui	(Solar Absort	bance)	Detail
Fibro Cavity Panel Di	rect Fix	Anti-glare foil with bulk no gap R2.5		Light		
Brick Veneer		Anti-glare foil with bulk no gap R2.5		Medium		
Internal Wall Constru	uction	Insulation		De	etail	
Cavity wall, direct plasterboard, single		None				
Party Walls – Bri		None				
Ceiling Construct	ion	Insulation		De	etail	
Plasterboard with Ti	imber	Bulk insulation R3.0		Externa	l ceilings	
Timber above Plaste	rboard	None		Internal	ceilings	
Roof Construction	on	Insulation	Colour	(Solar Absorp	otance)	Detail
Colorbond		Bulk, reflective side down, no air gap above R1.3	5	Surfmist – 0.32		3°, 20° & 25° pitch
Floor Construction		Insulation			ering	
Concrete Slab on G	round	None		Carpet	and Tiles	
Suspended Timb		Bulk insulation in contact with floor R1.0			and Tiles	
	nd frame typ	00	U Value	SHGC	Area m2	
	ng Windows	s Single Glazed	6.21	0.61		
	Windows \$	Single Glazed	5.90	0.77		
	g Windows	Single Glazed	6.30	0.73		
	g Doors Si	ngle Glazed	6.21	0.70		
Tubular Skylights – Single U and SHGC values are SHGC is less than 5% hig	according	to NFRC. Alternate produc	ts may be	used if the U	value is low	er and the
Fixed shading – Eav		Width includes g	uttering. off	set is distance	e above wind	dows
As drawn				o plan for deta		
Fixed shading – Oth	er	Verandah	to certain	units only		
		as drawn, adjoining building	gs and bou	ndary fences		
For construction in NS	SW the BC	CA Vol 1 or 2 must be cor	nplied wit	h, in particul	ar the follo	wing:
		lance with Vol 1 Section .	•	•		-
		with Section J1.3(d) & 1.				4(b)
		g insulation in accordanc		•	•	. ,
- Floor insulation in ac	cordance	with Section J1.6(c) & (d)	or Part 3.	12.1.5(a)(iii)	or (c) & (d))
- Building sealing in ac	ccordance	with Section J3 or Part 3	.12.3.1 to	3.12.3.6.		

, ,		•	•			.3(c) or Paπ 3.12.1. (a)(iii) or (c) & (d)	2(e)
	ion in accordance with Section J1.6(c) ling in accordance with Section J3 or F			. ,		. , . , . , . ,	
	0						
		:	195-197 Dibbs Stre	et, East Lism	ore		
		S	UMMARY OF BASIX	COMMITME	ENTS		
This is	s a summa	ry of th	e BASIX Commitme	nts as detaile	ed in the E	BASIX Certificate.	
		to the (CURRENT BASIX Cei	tificate for C	omplete o	letails.	
WATER COMM	ITMENTS						
Fixtures							
Alternative Wa	ter – Cent		er Tank 9,000L Coni				
All Toilets		One O	outdoor Tap Lai	undry W/M C	Cold Tap		
Fixtures							
3 Star Shower H	Heads	4 Star	Toilet 4 S	tar Kitchen T	aps	4 Star Basin Tap	S
THERMAL CON	IFORT CO	MMITM	ENTS – Refer to TP	A Specificati	on on pla	ns	
ENERGY COMM	ITMENTS	1					
Hot Water	Electric	heat pui	mp – 15 to 20 STCs	or better			
Cooling	Living		None				
System	Bedroor	ns	None				
Heating	Living		None				
System	Bedroor	ns	None				
Ventilation	Bathrooms		Fan ducted to roo	of/facade	Manual	on/off	
	Kitchen		Fan ducted to roof/facade		Manual on/off		
	Laundry Fan ducted to roo		of/facade	Manual	on/off		
Natural	Window	/Skyligh	it in Kitchen		As Draw	'n	
Lighting	Window	/Skyligh	t in Bathrooms/To	ilets	As Draw	'n	
Artificial	Number	of bedr	ooms	All		Dedicated	Yes
Lighting	Number	of Livin	g/Dining rooms	All		Dedicated	Yes
(Primarily lit	Kitchen			Yes		Dedicated	Yes
by fluoro or	All Bath	rooms/T	oilets	Yes		Dedicated	Yes
LED)	Laundry			Yes		Dedicated	Yes
	All Hallw	vays		Yes		Dedicated	Yes
OTHER COMMI	ITMENTS			•	•		
Outdoor clothe	s line	Yes		Indoor or	sheltered	clothes drying line	No
Stove/Oven	Electri	c cookto	op, electric oven				
Othor							



195 - 197 DIBBS ST, EAST LISMORE NSW 2480

MATERIAL FINISHES SCHEDULE

ABB.	ITEM	MATERIAL	FINISH	IMAG
MRS1	ROOFING	METAL SHEETING	COLORBOND SURFMIST	
FB1	WALLS	FACE BRICK	PGH WHIRLWIND	
LWC1	WALLS	LIGHT WEIGHT CLADDING	HVG ZENTIL STANDING SEAM SURFMIST	
	WINDOW/DOORS	ALUMINIUM	WOODLAND GREY / SURFMIST	
AW1	SUNHOODS	ALUMINIUM	HEKAHOODS WOODLAND GREY / SURFMIST	

ABB.	ITEM	MATERIAL	FINISH	IMAGE
LB	FENCE	1200H FACE BRICK	FB1 / FB2	
F1	FENCE	FLAT PLATE STYLE FENCE (600H) WITH FACE BRICK BELOW	WOODLAND GREY	
F2	FENCE	1800 SOLID COLORBOND	WOODLAND GREY	ع _{ير} .
CON1	DRIVEWAY	CONCRETE	NATURAL GREY	
FC	FASCIA/EAVES	FIBRE CEMENT	WHITE	
EG1	GUTTERS	COLORBOND	SURFMIST	

Certificate No. 0008952410 Property Address 195-197 Dibbs Stre NSW,2480 hstar.com.au/QR/Generate?p=amuserfbK



ARCHITECT'S IMPRESSION ONLY FROM CORNER OF DIBBS STREET + WALLACE PLACE

15.08.2023 FOR CONSULTANT COORDINATION 15.09.2023 FOR DEVELOPMENT APPROVAL

G 26.09.2023 FOR DEVELOPMENT APPROVAL

23.10.2023 FOR DEVELOPMENT APPROVAL 20.11.2023 FOR DEVELOPMENT APPROVAL

DRAWINGS COLOUR CODED PRINT ALL COPIES IN COLOUR

EXISTING STRUCTURE TO BE DEMOLISHED

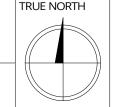
BUILDER TO CONFIRM ALL DETAILS, SETOUTS (TILE, BUILDING, ETC.),



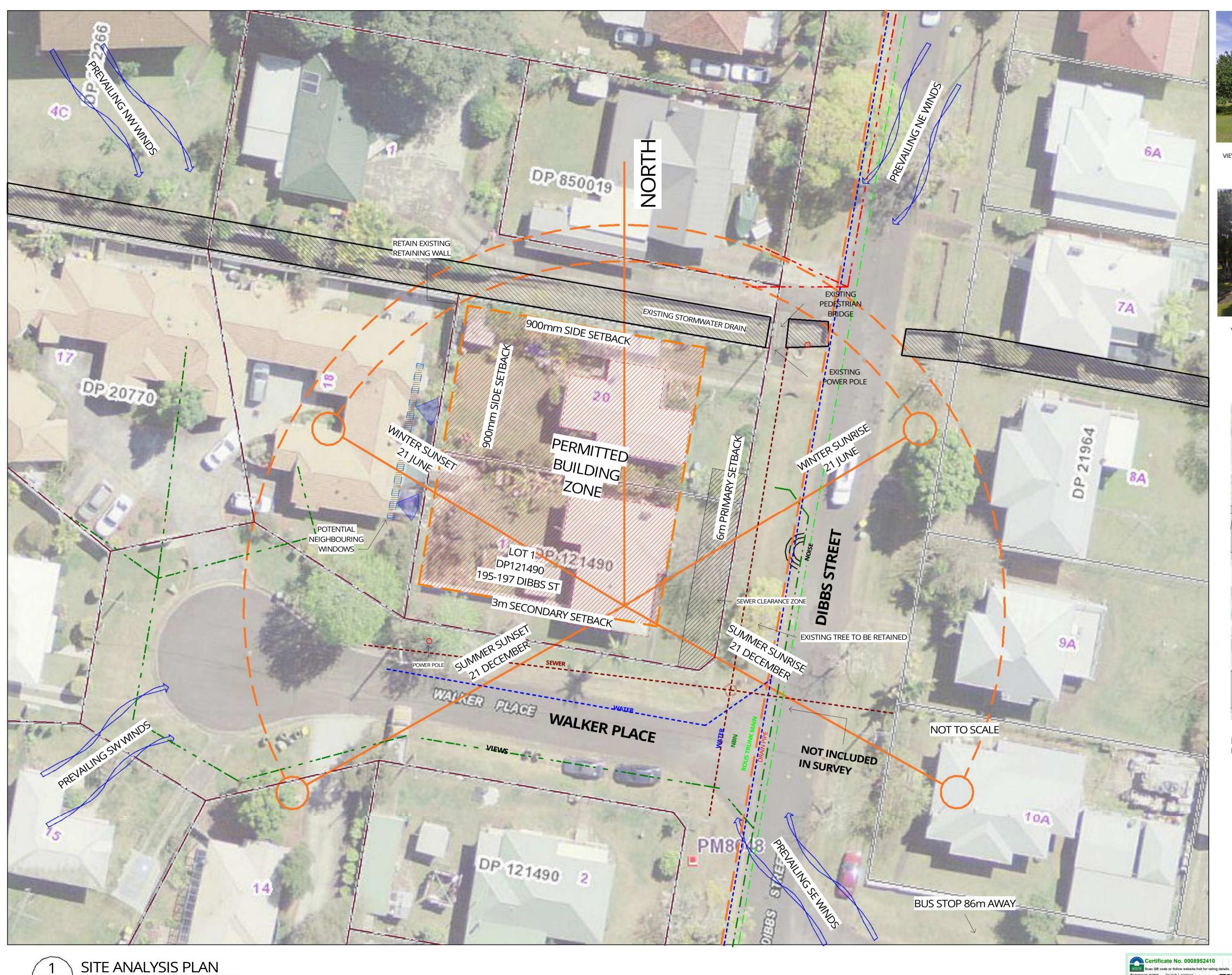
PO Box 807 The Junction NSW 2291 Suite 3, Level 1, 426 Hunter Street Newcastle NSW 2300 NOT FOR CONSTRUCTION newcastle@webberarchitects.com

COVERSHEET LAND AND HOUSING CORPORATION MULTI-DWELLING HOUSING 195 - 197 DIBBS ST EAST LISMORE NSW 2480

COMMENCEMENT DATE: 07.07.2022 SCALE











VIEW 1: WEST FACING FROM DIBBS ST

VIEW 2: NORTH FACING FROM WALKER PLACE





VIEW 3: EAST FACING FROM DIBBS ST

VIEW 2: SOUTH WEST FACING FROM DIBBS ST



BLOCK ANALYSIS PLAN NOT TO SCALE

SERVICES LEGEND WATER AUTHORITY **SEWER MANHOLE CLEARANCE ZONE HYDRANT** -----**SEWER** STOP VALVE ______ **POWER POLE** NBN TELSTRA PIT/ NBN **OVERHEAD POWER DRAIN PIPE ROUS TRUNK MAIN**

SITE ANALYSIS PLAN SCALE 1:200

Certificate No. 0008952410 Assessor name Joseph Lorriman Accreditation No. DMN/16/1742 Property Address 195-197 Dibbs Street, EAST NSW,2480 star.com.au/QR/Generate?p=amuserfbK

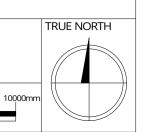
Suite 206, 8 Clarke Street Crows Nest NSW 2065

Phone 02 4926 1078 ISSUED PO Box 807 The Junction NSW 2291 Suite 3, Level 1, 426 Hunter Street Newcastle NSW 2300 newcastle@webberarchitects.com

sydney@webberarchitects.com
Nominated Architect Jon Webber AIA NSW ARB No 6830 | ABN 83 140 652 188

SHEET NUMBER: 2882 / 0201 / I

SITE & BLOCK ANALYSIS LAND AND HOUSING CORPORATION MULTI-DWELLING HOUSING 195 - 197 DIBBS ST EAST LISMORE NSW 2480



REV	DATE	DESCRIPTION	BY	СНК	
C	08.08.2023	FOR CONSULTANT COORDINATION	SL	DF	
D	15.08.2023	FOR CONSULTANT COORDINATION	SL		DRAV
Е	31.08.2023	FOR CLIENT COST ESTIMATE	LK		DDIVE
F	15.09.2023	FOR DEVELOPMENT APPROVAL	LK		PRIN
G	26.09.2023	FOR DEVELOPMENT APPROVAL	LK		
	22.40.2022	FOR DEVELOPMENT ADDROVAL	CI		D DED 3

I 20.11.2023 FOR DEVELOPMENT APPROVAL

AWINGS COLOUR CODED NT ALL COPIES IN COLOUR BUILDER TO CONFIRM ALL DETAILS, SETOUTS (TILE, BUILDING, ETC.), FALLS, DIMENSIONS & CONNECTIONS ON SITE PRIOR TO CONSTRUCTION

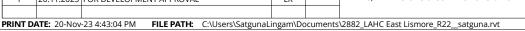


webber

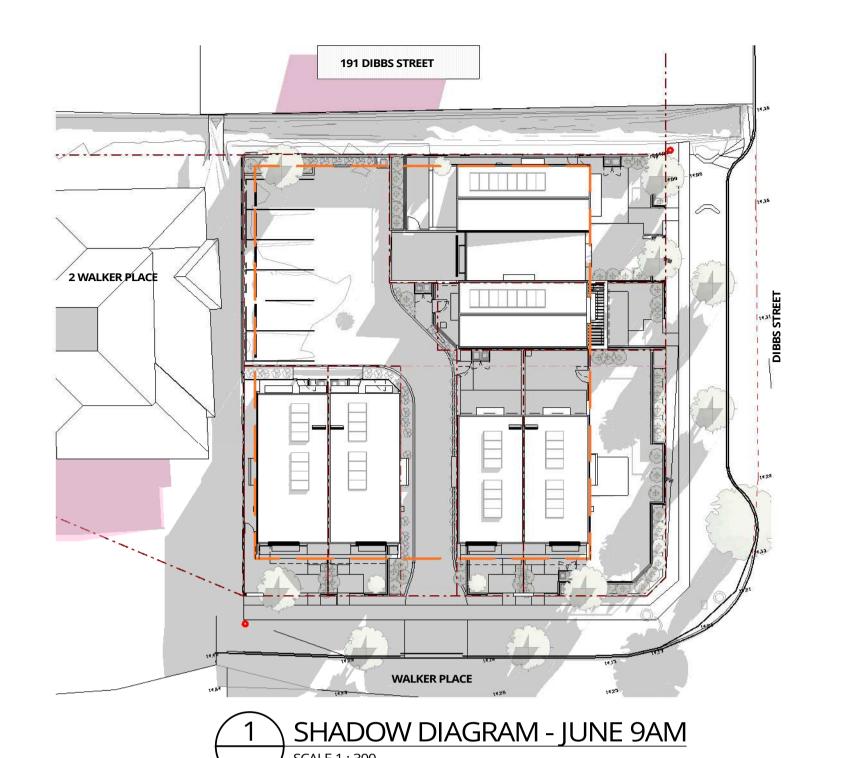
FOR DEVELOPMENT CONSENT NOT FOR CONSTRUCTION

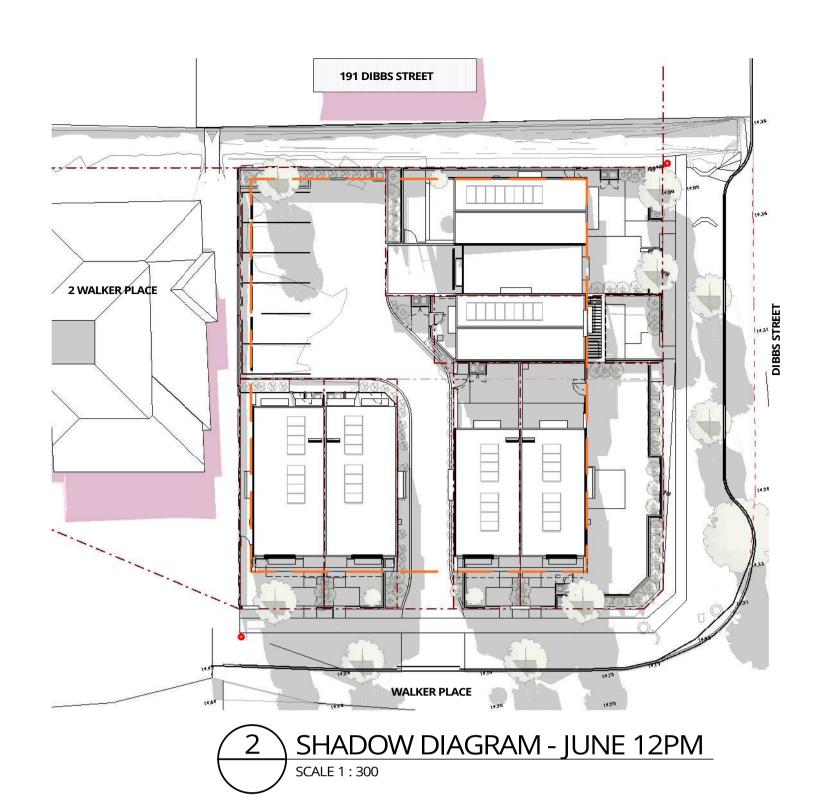


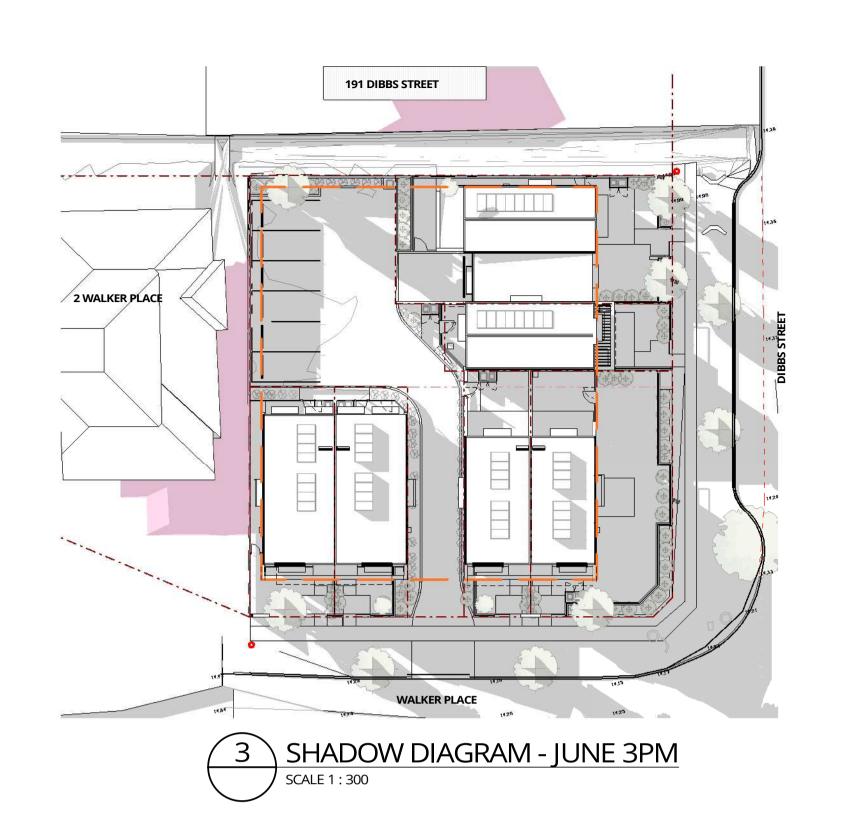
EXISTING SITE & DWELLINGS DASHED RED. PROPOSED BUILDINGS IN GREEN



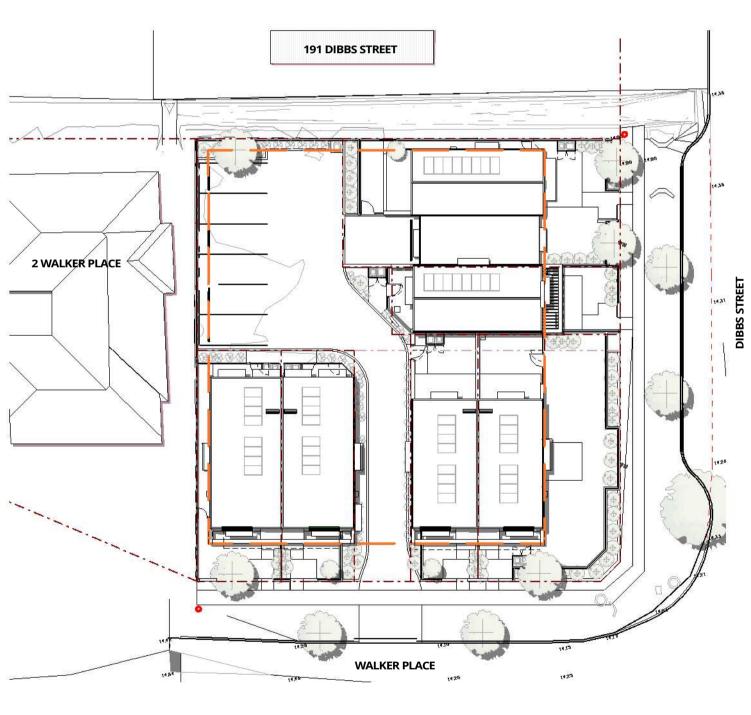


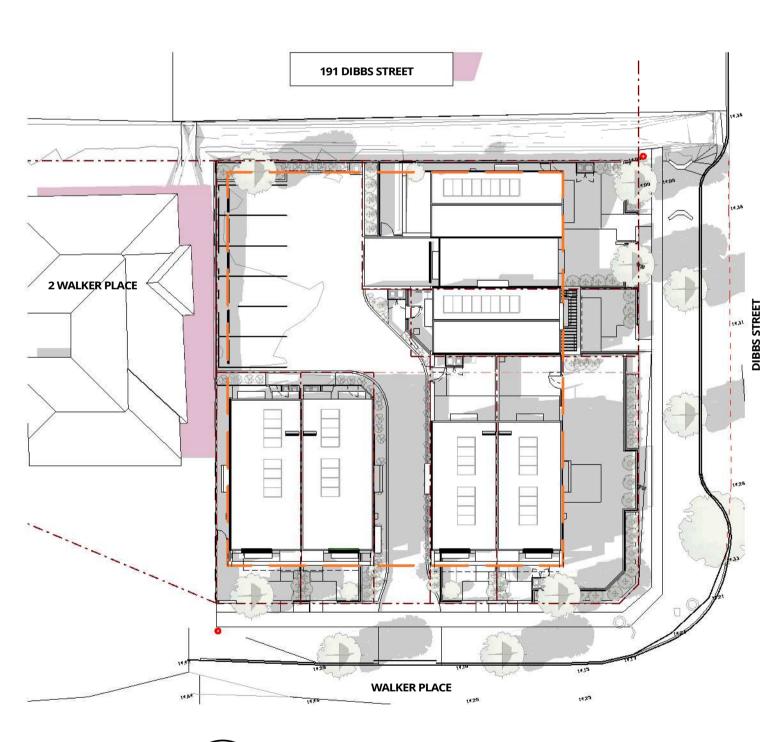










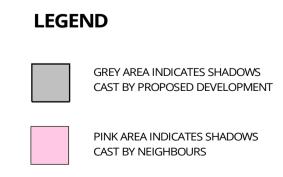






SHADOW DIAGRAM - DEC 3PM SCALE 1:300

7002	cate No. 0008952410	
Assessor name	Joseph Lorriman	
Accreditation No.	DMN/16/1742	
Property Address	195-197 Dibbs Street,EAST LISMORE NSW,2480	



REV	DATE	DESCRIPTION	BY	
С	08.08.2023	FOR CONSULTANT COORDINATION	SL	
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Н	23.10.2023	FOR DEVELOPMENT APPROVAL	SL	





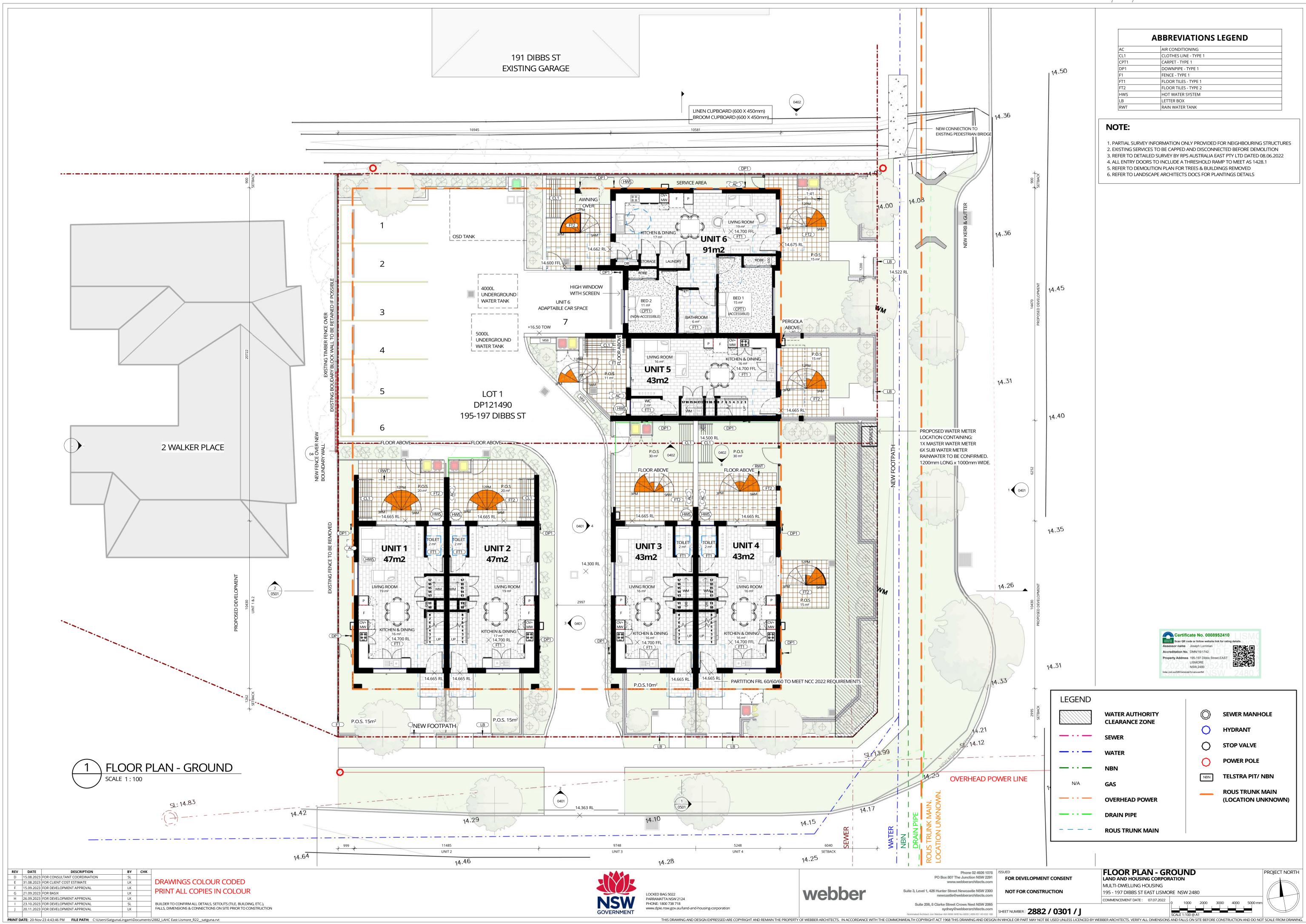
Phone 02 4926 1078 ISSUED PO Box 807 The Junction NSW 2291 Suite 3, Level 1, 426 Hunter Street Newcastle NSW 2300 newcastle@webberarchitects.com Suite 206, 8 Clarke Street Crows Nest NSW 2065

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FOR DEVELOPMENT CONSENT NOT FOR CONSTRUCTION

SHADOW DIAGRAMS LAND AND HOUSING CORPORATION MULTI-DWELLING HOUSING 195 - 197 DIBBS ST EAST LISMORE NSW 2480

TRUE NORTH



PRINT ALL COPIES IN COLOUR BUILDER TO CONFIRM ALL DETAILS, SETOUTS (TILE, BUILDING, ETC.), FALLS, DIMENSIONS & CONNECTIONS ON SITE PRIOR TO CONSTRUCTION

H 26.09.2023 FOR DEVELOPMENT APPROVAL

I 23.10.2023 FOR DEVELOPMENT APPROVAL

J 20.11.2023 FOR DEVELOPMENT APPROVAL

PRINT DATE: 20-Nov-23 4:43:56 PM FILE PATH: C:\Users\SatgunaLingam\Documents\2882_LAHC East Lismore_R22_satguna.rvt

LOCKED BAG 5022 PARRAMATTA NSW 2124 PHONE: 1800 738 718 www.dpie.nsw.gov.au/land-and-housing-corporation

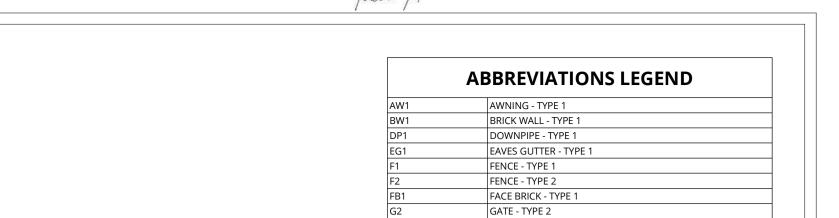
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Nominated Architect Jon Webber AIA NSW ARB No 6830 | ABN 83 140 652 188

SHEET NUMBER: 2882 / 0302 / J

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195 - 197 DIBBS ST EAST LISMORE NSW 2480



NOTE:

1. PARTIAL SURVEY INFORMATION ONLY

______ LEVEL PROVIDED FOR NEIGHBOURING STRUCTURES
20.500
2. EXISTING SERVICES TO BE CAPPED AND
DISCONNECTED BEFORE DEMOLITION

_______ LEVEL 3. REFER TO DETAILED SURVEY BY RPS

LETTER BOX

METAL ROOF SHEETING - TYPE 1
METAL ROOF SHEETING - TYPE 2

PHOTOVOLTAIC SOLAR PANELS

EXISTING POWER POLE

GROUND LEVEL FFL 14.700

LOT 1 DP850019

EXISTING

DWELLING

NOW HERE & CRUTH COPT CEED TO STING GROUND LINE

PROPOSED GROUND LINE

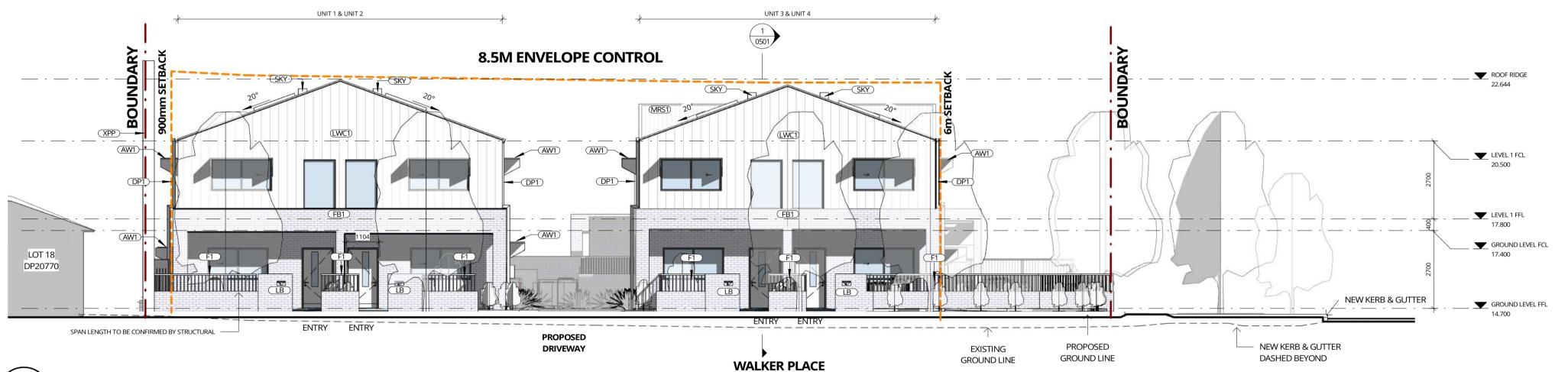
DIBBS STREET

DIBBS STREET

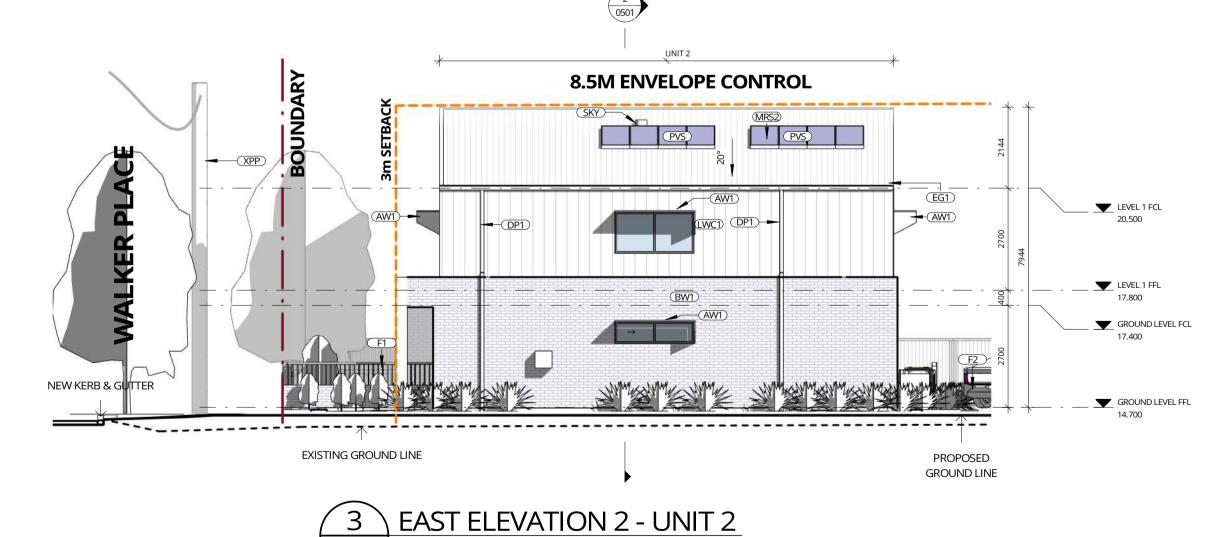
8.5m ENVELOPE CONTROL

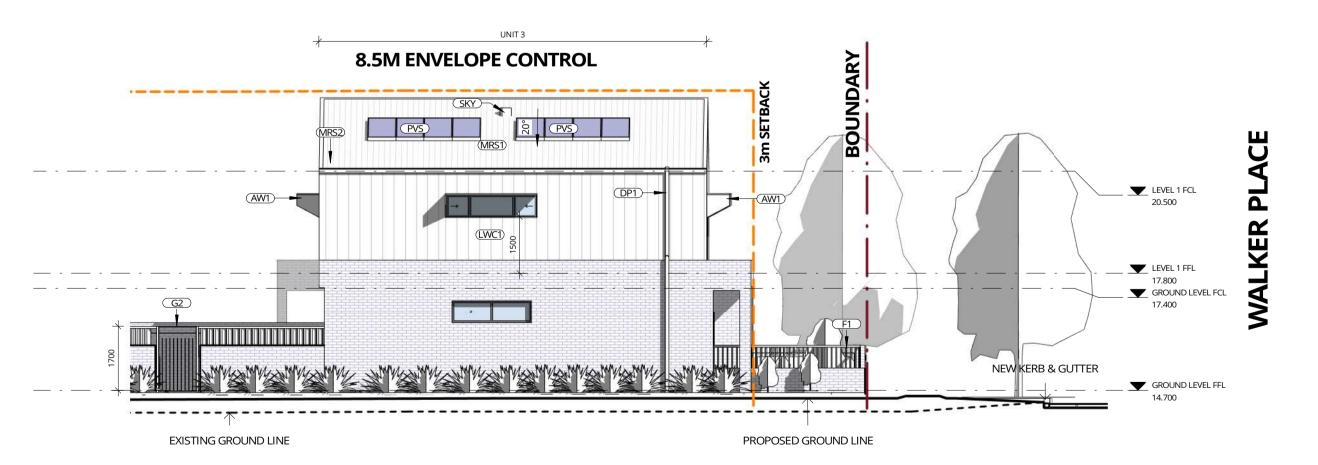
1 EAST ELEVATION 1 (DIBBS STREET)

SCALE 1:100



2 SOUTH ELEVATION (WALKER PLACE)
SCALE 1:100





4 WEST ELEVATION 1 -UNIT 4

SCALE 1:100

Certificate No. 0008952410

Scan QR code or follow website link for rating details.

Assessor name Joseph Lorriman

Accreditation No. DMN/16/1742

Property Address 195-197 Dibbs Street, EAST

LISMORE

NSW,2480

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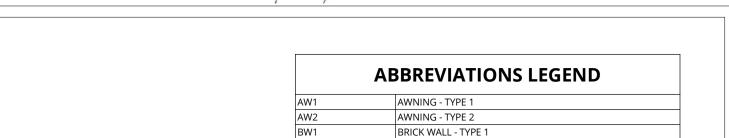
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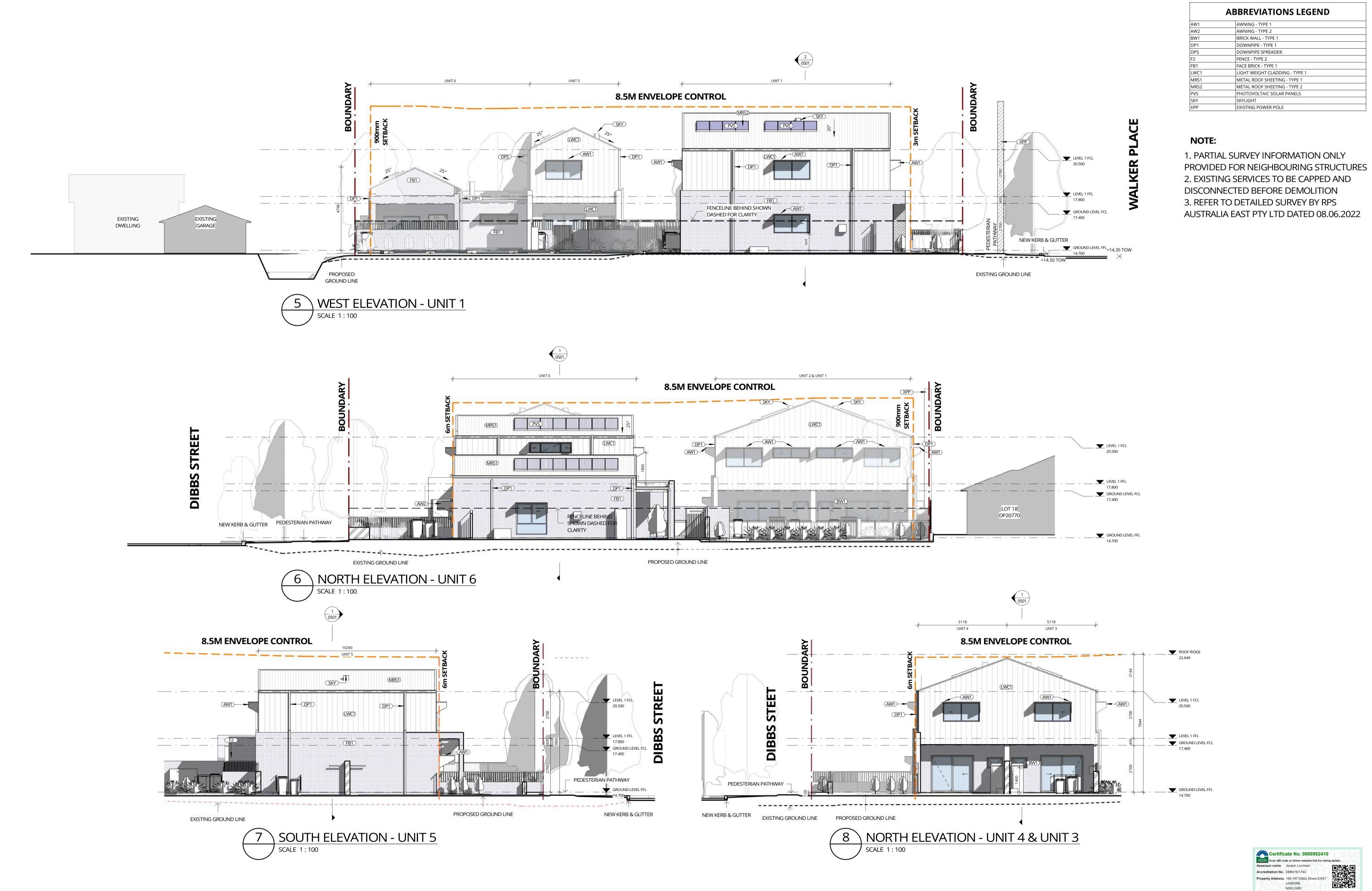




FOR DEVELOPMENT CONSENT NOT FOR CONSTRUCTION	Phone 02 4926 1078 PO Box 807 The Junction NSW 2291 www.webberarchitects.com ite 3, Level 1, 426 Hunter Street Newcastle NSW 2300 newcastle@webberarchitects.com
SHEET NUMBER: 2882 / 0401 / I	Suite 206, 8 Clarke Street Crows Nest NSW 2065 sydney@webberarchitects.com

ELEVATIONS - SHEET 1
LAND AND HOUSING CORPORATION
MULTI-DWELLING HOUSING
195 - 197 DIBBS ST EAST LISMORE NSW 2480
COMMENCEMENT DATE: 07.07.2022 0 1000 200





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DESCRIPTION

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15.08.2023 FOR CONSULTANT COORDINATION

E 31.08.2023 FOR CLIENT COST ESTIMATE

15.09.2023 FOR DEVELOPMENT APPROVAL

20.11.2023 FOR DEVELOPMENT APPROVAL

G 26.09.2023 FOR DEVELOPMENT APPROVAL

H 23.10.2023 FOR DEVELOPMENT APPROVAL

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FOR DEVELOPMENT CONSENT MULTI-DWELLING HOUSING

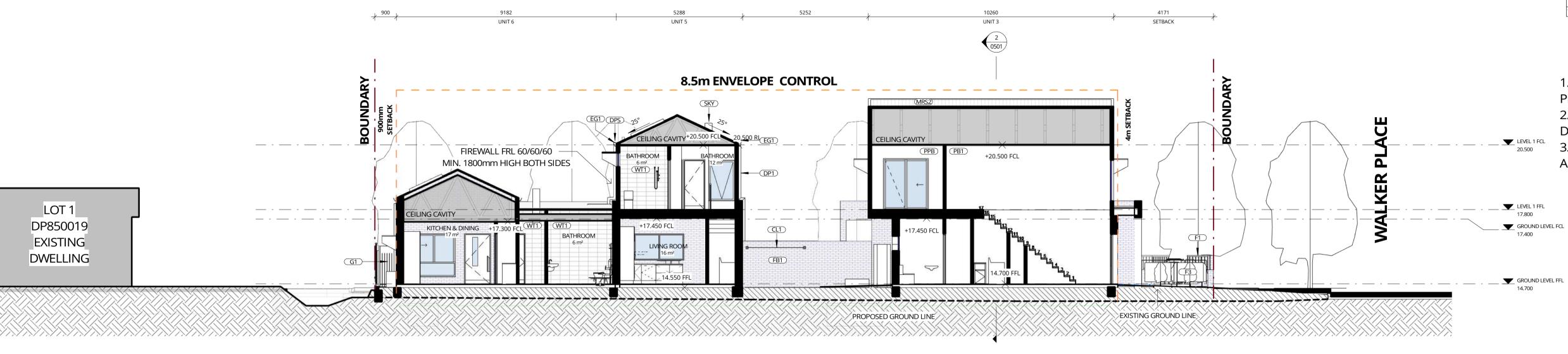
ELEVATIONS - SHEET 2 LAND AND HOUSING CORPORATION 195 - 197 DIBBS ST EAST LISMORE NSW 2480

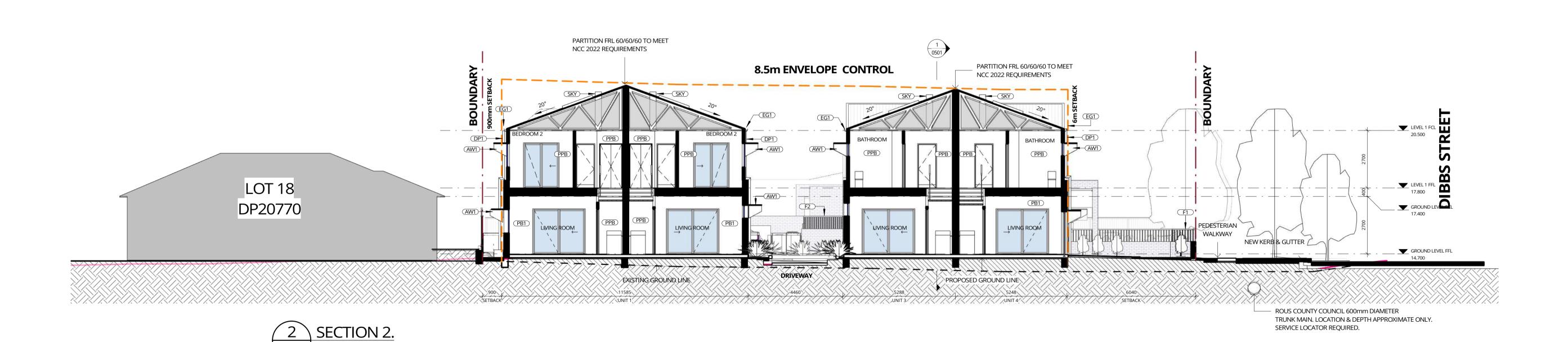
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NOTE:

1. PARTIAL SURVEY INFORMATION ONLY PROVIDED FOR NEIGHBOURING STRUCTURES 2. EXISTING SERVICES TO BE CAPPED AND DISCONNECTED BEFORE DEMOLITION 3. REFER TO DETAILED SURVEY BY RPS AUSTRALIA EAST PTY LTD DATED 08.06.2022





Certificate No. 0008952410 Accreditation No. DMN/16/1742 Property Address 195-197 Dibbs Street, EAST LISMORE NSW,2480

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G	26.09.2023	FOR DEVELOPMENT APPROVAL	LK		
Н	23.10.2023	FOR DEVELOPMENT APPROVAL	SL		BUILDER TO CONFIRM ALL DETAILS, SETOUTS (TILE, BUILDING, ETC.),
- 1	20.11.2023	FOR DEVELOPMENT APPROVAL	LK		FALLS, DIMENSIONS & CONNECTIONS ON SITE PRIOR TO CONSTRUCTION
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SECTION 1

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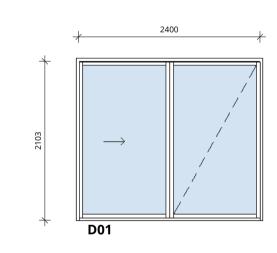


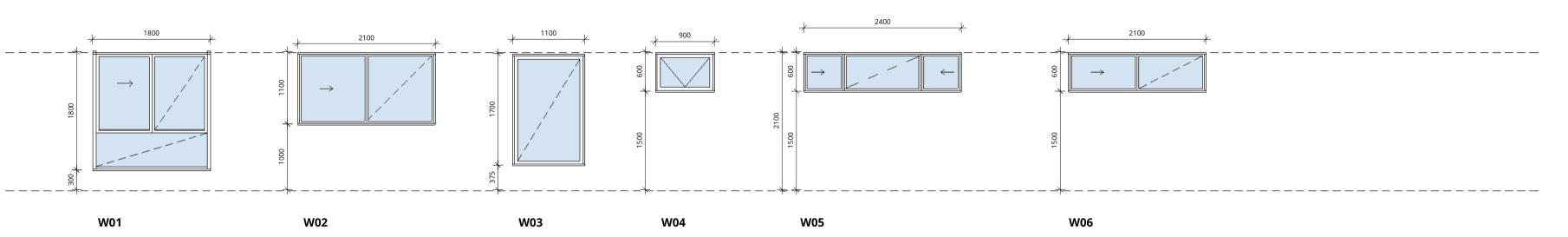
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Suite 3, Level 1, 426 Hunter Street Newcastle NSW 2300 newcastle@webberarchitects.com	NOT FOR CONSTRUCTION
Suite 206, 8 Clarke Street Crows Nest NSW 2065 sydney@webberarchitects.com Nominated Architect Jon Webber AIA NSW ARB No 6830 ABN 83 140 682 188	SHEET NUMBER: 2882 / 0501 / I

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UNIT.	LEVEL	Mark	Type Mark
UNIT 1	GROUND	1-01	W02
UNIT 1	GROUND	1-02	W02
UNIT 1	GROUND	1-03	W04
UNIT 1	LEVEL 1	1-04	W03
UNIT 1	LEVEL 1	1-05	W02
UNIT 1	LEVEL 1	1-06	W02
UNIT 1	LEVEL 1	1-07	W02
UNIT 1	LEVEL 1	1-08	W06
UNIT 2	GROUND	2-01	W02
UNIT 2	GROUND	2-02	W06
UNIT 2	GROUND	2-03	W04
UNIT 2	LEVEL 1	2-04	W03
UNIT 2	LEVEL 1	2-05	W02
UNIT 2	LEVEL 1	2-06	W02
UNIT 2	LEVEL 1	2-07	W02
UNIT 2	LEVEL 1	2-08	W06
UNIT 3	GROUND	3-01	W02
UNIT 3	GROUND	3-02	W06
UNIT 3	GROUND	3-03	W04
UNIT 3	LEVEL 1	3-04	W03
UNIT 3	LEVEL 1	3-05	W02
UNIT 3	LEVEL 1	3-06	W05
UNIT 3	LEVEL 1	3-07	W02
UNIT 4	GROUND	4-01	W02
UNIT 4	GROUND	4-02	W04
UNIT 4	LEVEL 1	4-03	W03
UNIT 4	LEVEL 1	4-04	W02
UNIT 4	LEVEL 1	4-05	W05
UNIT 4	LEVEL 1	4-06	W02
UNIT 5	GROUND	5-01	W02
UNIT 5	GROUND	5-02	W04
UNIT 5	LEVEL 1	5-03	W03
UNIT 5	LEVEL 1	5-04	W02
UNIT 5	LEVEL 1	5-05	W05
UNIT 5	LEVEL 1	5-06	W02
UNIT 6	GROUND	6-01	W01
UNIT 6	GROUND	6-02	W01
UNIT 6	GROUND	6-03	W01
UNIT 6	GROUND	6-04	W02
UNIT 6	GROUND	6-05	W06





Certificate No. 0008952410 Property Address 195-197 Dibbs Street,EAST LISMORE NSW,2480 hstar.com.au/QR/Generate?p=amuserfbK

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PO Box 807 The Junction NSW 2291
PRELIMINARY ONLY www.webberarchitects.com Suite 3, Level 1, 426 Hunter Street Newcastle NSW 2300 newcastle@webberarchitects.com

DOOR & WINDOW SCHEDULE LAND AND HOUSING CORPORATION

195 - 197 DIBBS ST EAST LISMORE NSW 2480 COMMENCEMENT DATE: 07.07.2022 Suite 206, 8 Clarke Street Crows Nest NSW 2065 sydney@webberarchitects.com

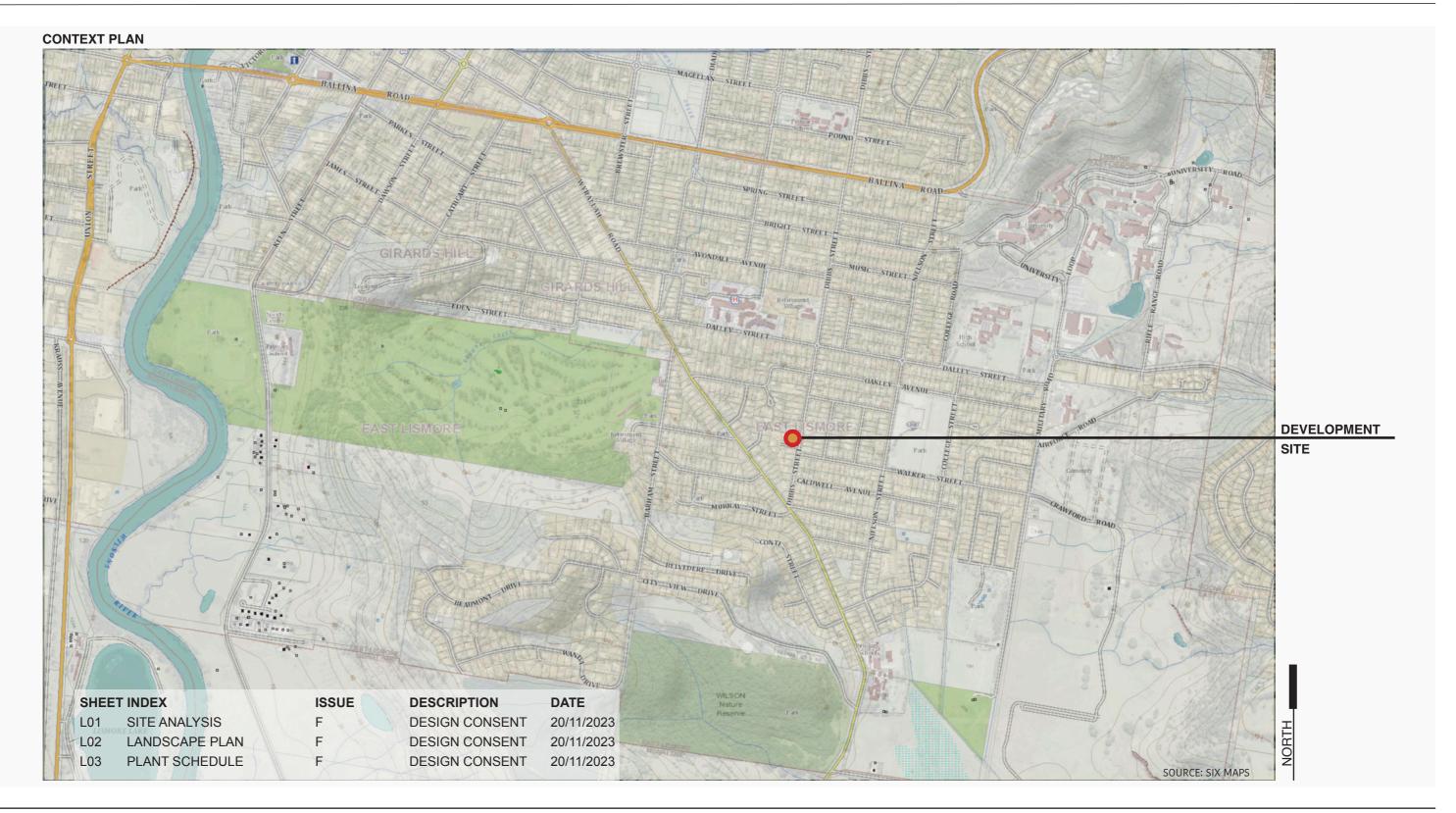
Nominated Architect. Jon Webber Ala NSW ARB No 6830 | ABN 83 140 652 188

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195-197 Dibbs Street, EAST LISMORE

LOT 1 / DP121490 and LOT 20 / DP 20770

Landscape Documentation



Galeedle Gil

195-197 DIBBS STREET, EAST LISMORE

Bundjalung Land

LOT 1 /DP121490 and LOT 20 / DP 20770

ZONE: R1 - GENERAL RESIDENTIAL

PROPOSAL

The project proposes to demolish two existing single dwellings on two adjoining lots, to develop multi-residential buildings, with associated supporting infrastructure, including car parking and landscaping. The landscape documentation attached is in support of the proposal.

THE SITE

The project site ('the site') comprises a two lots which are located on the corner of Dibbs Street (eastern boundary) and Walker Place (southern boundary). The site is surrounded by residential housing, which defines the landscape character of the neighbourhood. Topographically the site could be considered generally flat. The Water Authority has an easement running through the south-eastern corner of the site, which will need to be considered in relation to the height of proposed planting.

Vegetation

The site has a number of existing mature trees and shrub vegetation which will need to be removed to accommodate the development. Existing vegetation has been assessed and further detailed within the Arborist Report for the site. An existing street tree on Dibbs Street will be reatined and protected. The site's local climatic conditions (including soil type below), will need to be considered when selecting new plant species.

Soil

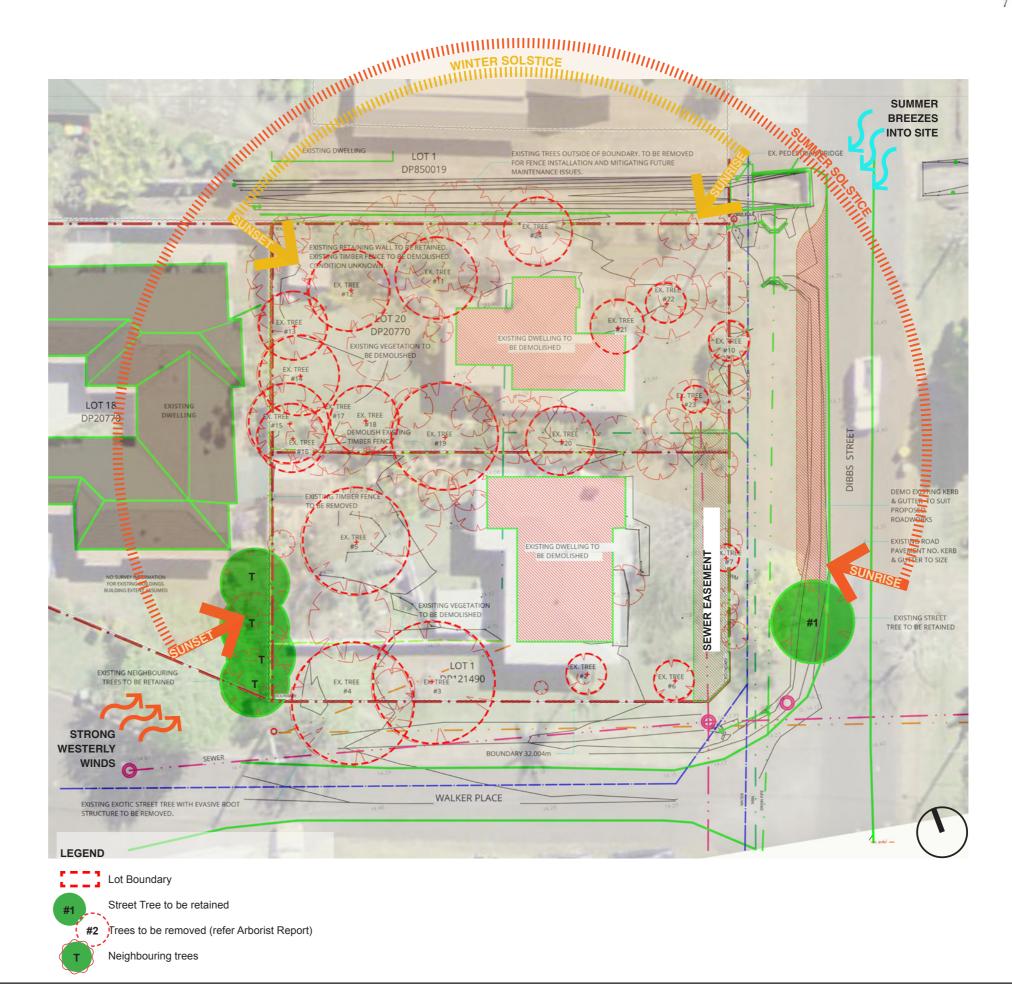
Site soil falls into the 'East Ballina Soil Landscape' with the dominant A horizon (topsoil) constituting a brownish black sandy loam with weak to moderate structure, which is moderately acidic (Matthei, L.E. *Soil Landscapes of Newcastle*, Department of Land and Water Conservation Sydney, 1995). Amelioration prior to any landscape works would be beneficial with the addition of lime to help balance the pH of the soil. Organic matter incorporation may help to improve structural stability and moisture holding capacity.

PROPOSED LANDSCAPE APPROACH

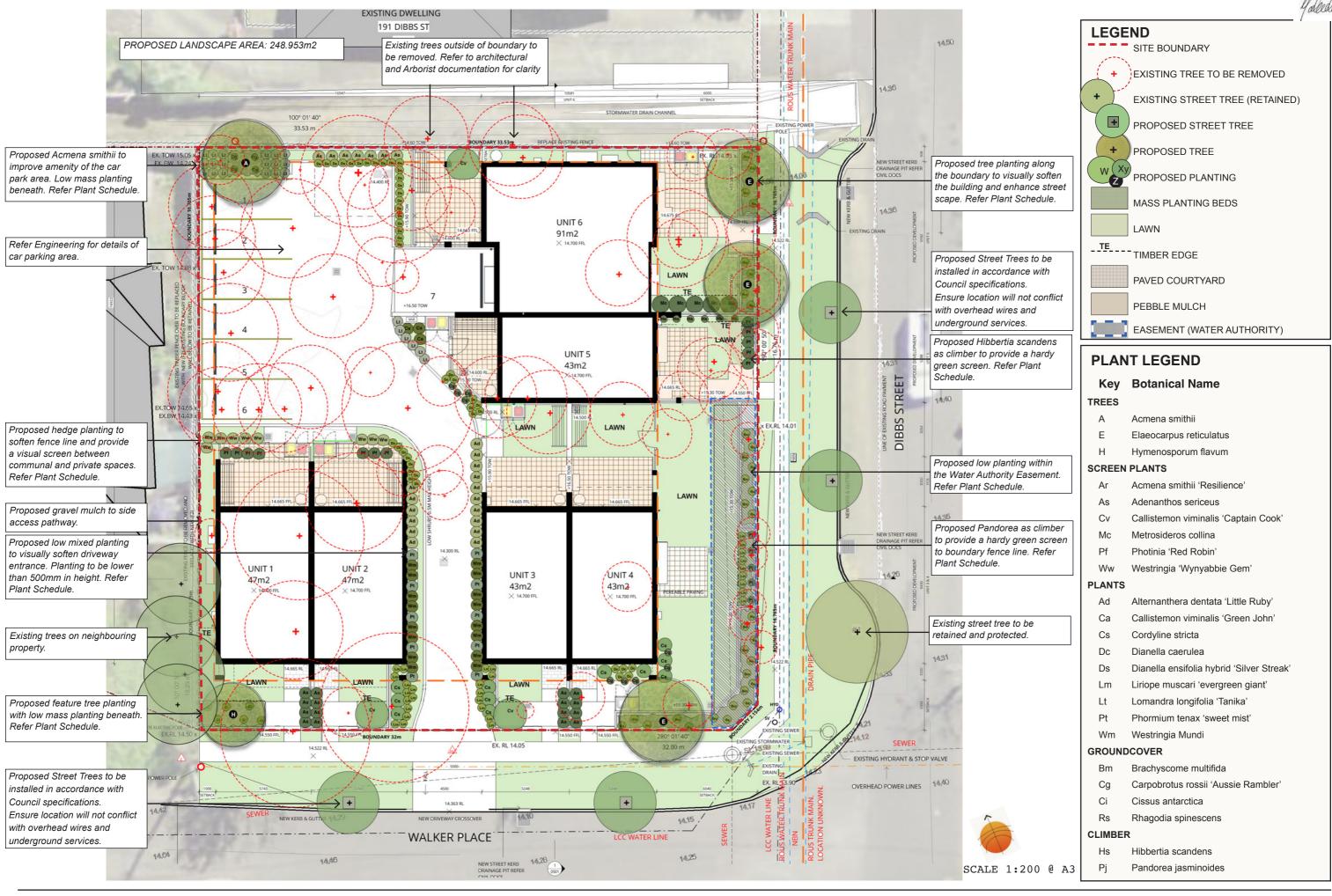
The existing site characteristics have been considered to form a proposal which aims to create an attractive, functional and aesthetically pleasing landscape

The following general principles include:

- Landscaping has been incorporated into the development where possible, particularly along the boundaries, to assist in enhancing the amenity of the site;
- Suggested plant species chosen are considerate of the local climatic conditions, in terms of wind and sun exposure, and also ongoing maintenance requirements;
- Incorporate a diverse planting palette that utilises a mix of species, to ensure seasonal variation and allow for a consistent level of amenity in the instance one species under-performs.



195-197 DIBBS STREET, EAST LISMORE, NSW DATE: NOVEMBER 2023 PROJECT NO. GSP220543 ISSUE: F - DESIGN CONSENT GREEN SPACE PLANNING Co.
3/19 BOLTON STREET NEWCASTLE NSW 2300
PH 0423 684 382



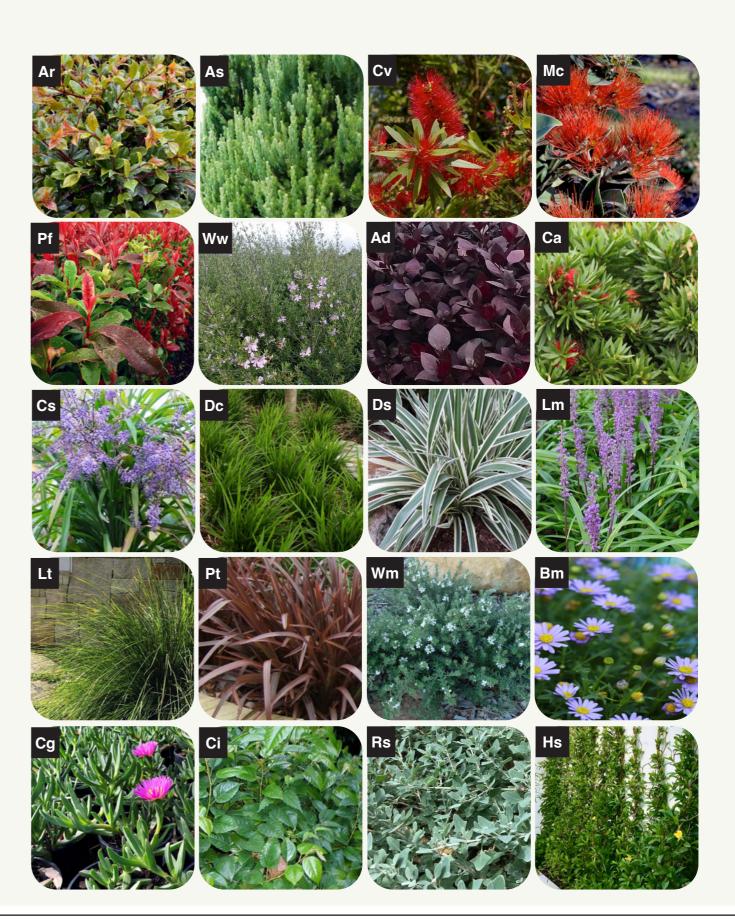


PLANTING SCHEDULE **PLANTING IMAGES**

Key	Botanical Name	Common Name	Pot Size	Mature Height	Mature Width	Quantity
TREES				3		
Α	Acmena smithii	Lilly Pilly	75L	8m	6m	1
E	Elaeocarpus reticulatus	Blueberry Ash	75L	7m	4m	3
Н	Hymenosporum flavum	Native Frangipani	75L	8m	3m	1
SCREE	N PLANTS					
Ar	Acmena smithii 'Resilience'	Lilly Pilly Resilience	200mm	3m	1m	16
As	Adenanthos sericeus	Wooly Bush	200mm	3m	1m	7
Cv	Callistemon viminalis 'Captain Cook'	Bottlebrush	200mm	2m	1.5m	3
Mc	Metrosideros collina	NZ Christmas Bush	200mm	2m	1.5m	5
Pf	Photinia 'Red Robin'	Photinia	200mm	2.5m	1.5m	12
Ww	Westringia 'Wynyabbie Gem'	Coastal Rosemary	200mm	2m	1m	9
PLANTS	8					
Ad	Alternanthera dentata 'Little Ruby'	Little Ruby	140mm	0.4m	0.8m	16
Ca	Callistemon viminalis 'Green John'	Green John	140mm	0.6m	0.6m	3
Cs	Cordyline stricta	Slender Palm Lily	140mm	2.5m	1m	11
Dc	Dianella caerulea	Flax Lily	140mm	0.5m	0.5m	13
Ds	Dianella ensifolia hybrid 'Silver Streak'	Stripey Flax Lily	140mm	0.5m	0.5m	22
Lm	Liriope muscari 'evergreen giant'	Lily Turf	140mm	0.5m	0.5m	22
Lt	Lomandra longifolia 'Tanika'	Mat Rush	140mm	0.5m	0.5m	24
Pt	Phormium tenax 'sweet mist'	NZ Flax	140mm	0.4m	0.4m	10
Wm	Westringia Mundi	Dwarf Coastal Rosemary	140mm	0.4m	0.6m	16
GROUN	IDCOVER					
Bm	Brachyscome multifida	Native Daisy	140mm	0.2m	1.0	26
Cg	Carpobrotus rossii 'Aussie Rambler'	Native Pigface	140mm	0.2m	2m	13
Ci	Cissus antarctica	Kangaroo Vine	140mm	0.2m	2m	6
Rs	Rhagodia spinescens	Salt Bush	140mm	0.3m	2m	26
CLIMBE	ER .					
Hs	Hibbertia scandens	Snake Vine	140mm	Climber		6
Pj	Pandorea jasminoides	Bower Vine	140mm	Climber		5

TREE IMAGES





CIVIL ENGINEERING DRAWINGS

195-197 DIBBS STREET EAST LISMORE NSW 2480

ISSUED FOR DEVELOPMENT APPROVAL

DRAWING SCHEDULE

PLAN NUMBER	DRAWING TITLE
8976-DA-000	COVER SHEET
8976-DA-001	GENERAL NOTES & LEGEND SHEET 1 OF 2
8976-DA-002	GENERAL NOTES & LEGEND SHEET 2 OF 2
8976-DA-100	STORMWATER PLAN SHEET
8976-DA-500	STORMWATER DETAILS
8976-DA-501	OSD TANK SECTIONS AND DETAILS
8976-DA-601	OSD CATCHMENT PLAN
8976-DA-800	EROSION AND SEDIMENT CONTROL PLAN
8976-DA-810	EROSION AND SEDIMENT CONTROL NOTES AND DETAILS



LOCALITY PLAN

ARCHITECT:







ACCESS AND SAFETY

- 1. THE CONTRACTOR SHALL COMPLY WITH ALL STATUTORY AND INDUSTRIAL REQUIREMENTS FOR PROVISION OF A SAFE WORKING ENVIRONMENT INCLUDING TRAFFIC CONTROL.
- 2. THE CONTRACTOR SHALL PROVIDE TRAFFIC MANAGEMENT PLANS FOR THE PROPOSED WORKS COMPLETED BY A SUITABLY QUALIFIED PERSON AND APPROVED BY COUNCIL / REGULATORY AUTHORITY. WORK IS NOT TO COMMENCE ON SITE PRIOR TO APPROVAL OF TRAFFIC MANAGEMENT SCHEME.
- THE CONTRACTOR SHALL ENSURE THAT AT ALL TIMES ACCESS TO BUILDINGS ADJACENT THE WORKS IS NOT DISRUPTED.
- 4. WHERE NECESSARY THE CONTRACTOR SHALL PROVIDE SAFE PASSAGE OF VEHICLES AND/OR PEDESTRIANS THROUGH OR BY THE SITE.
- 5. THE CONTRACTOR SHALL ENSURE PUBLIC ACCESS EXTERNAL TO THE SITE IS IN ACCORDANCE WITH COUNCILS REQUIREMENTS.

TREE PROTECTION

- REFER TO LANDSCAPE / ARCHITECTS PLAN FOR TREES TO BE RETAINED AND PROTECTED.
- 2. ANY EXISTING TREES WHICH FORM PART OF THE FINAL LANDSCAPING PLAN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES BY: 2.1. PROTECTING THEM WITH BARRIER FENCING OR
- SIMILAR MATERIALS INSTALLED OUTSIDE THE DRIP LINE. 2.2. ENSURING THAT NOTHING IS NAILED TO ANY PART OF
- THE TREE. 2.3. CARE IS TAKEN NOT TO CUT ROOTS UNNECESSARILY. COUNCILS AND/OR INDEPENDENT ARBORISTS TO BE CONSULTED WHERE TREE ROOTS ARE TO BE REMOVED AND/OR CUT.

EXISTING SERVICES

- 1. ALL UTILITY SERVICES INDICATED ON THE DRAWINGS ORIGINATE FROM SUPPLIED DATA OR DIAL BEFORE YOU DIG SEARCHES, THEREFORE THEIR ACCURACY AND COMPLETENESS IS NOT GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE AND CONFIRM THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY, NOTE SERVICE AUTHORITY REQUIREMENTS FOR LOCATING OF SERVICES PRIOR TO COMMENCEMENT OF WORKS.
- CARE TO BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATIONS AREA TO BE UNDERTAKEN OVER COMMUNICATION, GAS OR ELECTRICAL SERVICES. HAND EXCAVATION ONLY IN THESE AREAS.
- 3. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING SERVICES THAT ARE TO BE RETAINED IN THE VICINITY OF THE PROPOSED WORKS. ANY AND ALL DAMAGE TO THESE SERVICES AS A RESULT OF THESE WORKS SHALL BE REPAIRED BY THE CONTRACTOR UNDER THE DIRECTION OF THE SUPERINTENDENT AT THE CONTRACTORS EXPENSE.
- 4. THE CONTRACTOR SHALL ALLOW IN THE PROGRAM FOR THE ADJUSTMENT (IF REQUIRED) OF EXISTING SERVICES IN AREAS AFFECTED BY WORKS.
- 5. THE CONTRACTOR SHALL ALLOW IN THE PROGRAM FOR THE CAPPING OFF, EXCAVATION AND REMOVAL (IF REQUIRED) OF EXISTING SERVICES IN AREAS AFFECTED BY WORKS UNLESS DIRECTED OTHERWISE ON THE DRAWINGS OR BY THE SUPERINTENDENT.
- 6. THE CONTRACTOR SHALL ENSURE THAT AT ALL TIMES SERVICES TO ALL BUILDINGS NOT AFFECTED BY THE WORKS ARE NOT DISRUPTED AND MAINTAINED.
- PRIOR TO COMMENCEMENT OF ANY WORKS THE CONTRACTOR SHALL GAIN APPROVAL OF THE PROGRAM FOR THE RELOCATION AND/OR CONSTRUCTION OF TEMPORARY SERVICES AND FOR ANY ASSOCIATED INTERRUPTION OF SUPPLY.
- 8. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SERVICES TO MAINTAIN EXISTING SUPPLY TO BUILDINGS REMAINING IN OPERATION DURING WORKS TO THE SATISFACTION AND APPROVAL OF THE SUPERINTENDENT ONCE DIVERSION IS COMPLETE AND COMMISSIONED THE CONTRACTOR SHALL REMOVE ALL SUCH TEMPORARY SERVICES AND MAKE GOOD TO THE SATISFACTION OF THE SUPERINTENDENT.

SEDIMENT AND SOIL EROSION

- THE SEDIMENT & EROSION CONTROL PLAN PRESENTS CONCEPTS ONLY. THE CONTRACTOR SHALL AT ALL TIMES BE RESPONSIBLE FOR THE ESTABLISHMENT & MANAGEMENT OF A DETAILED SCHEME MEETING COUNCILS DESIGN. OTHER REGULATORY AUTHORITY REQUIREMENTS AND MAKE GOOD PAYMENT OF ALL FEES.
- 2. THE CONTRACTOR SHALL INSTIGATE ALL SEDIMENT AND EROSION CONTROL MEASURES IN ACCORDANCE WITH STATUTORY REQUIREMENTS AND IN PARTICULAR THE 'BLUE BOOK' (MANAGING URBAN STORMWATER SOILS AND CONSTRUCTION). PRODUCED BY THE DEPARTMENT OF HOUSING AND COUNCILS POLICIES. THESE MEASURES ARE TO BE INSPECTED AND MAINTAINED ON A DAILY BASIS.
- 3. THE SITE SUPERINTENDENT SHALL ENSURE THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE LOCATED AS INSTRUCTED IN THE DRAWINGS AND .ADHERE TO ALL REGULATORY AUTHORITY REQUIREMENTS
- 4. THE CONTRACTOR SHALL INFORM ALL SUB CONTRACTORS OF THEIR RESPONSIBILITIES IN MINIMISING THE POTENTIAL FOR SOIL EROSION AND POLLUTION TO DOWNSLOPE LANDS AND WATERWAYS.
- 5. WHERE PRACTICAL, THE SOIL EROSION HAZARD ON THE SITE SHALL BE KEPT AS LOW AS POSSIBLE. TO THIS END, WORKS SHOULD BE UNDERTAKEN IN THE FOLLOWING SEQUENCE:
- 5.1. CONSTRUCT TEMPORARY STABILISED SITE ACCESS INCLUSIVE OF SHAKE DOWN / WASH PAD.
- 5.2. INSTALL ALL TEMPORARY SEDIMENT FENCES AND BARRIER FENCES. WHERE FENCES ADJACENT EACH OTHER. THE SEDIMENT FENCE CAN BE INCORPORATED INTO THE BARRIER FENCE
- 5.3. INSTALL SEDIMENT CONTROL MEASURES AS OUTLINED ON THE APPROVED PLANS.
- 6. UNDERTAKE SITE DEVELOPMENT WORKS SO THAT LAND DISTURBANCE IS CONFINED TO AREAS OF MINIMUM WORKABLE SIZE.
- 7. AT ALL TIMES AND IN PARTICULAR DURING WINDY AND DRY WEATHER, LARGE UNPROTECTED AREAS WILL BE KEPT MOIST (NOT WET) BY SPRINKLING WITH WATER TO KEEP DUST UNDER CONTROL ENSURING CONFORMITY TO REGULATORY AUTHORITY REQUIREMENTS.
- 8. ANY SAND USED IN THE CONCRETE CURING PROCESS (SPREAD OVER THE SURFACE) SHALL BE REMOVED AS SOON AS POSSIBLE AND WITHIN 10 WORKING DAYS FROM PLACEMENT.
- 9. WATER SHALL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS THE CATCHMENT AREA HAS BEEN STABILISED AND/OR ANY LIKELY SEDIMENT BEEN FILTERED OUT.
- 10. TEMPORARY SOIL AND WATER MANAGEMENT STRUCTURES SHALL BE REMOVED ONLY AFTER THE LANDS THEY ARE PROTECTING ARE STABILISED / REHABILITATED.
- 11. ALLOW FOR GRASS STABILISATION OF EXPOSED AREAS. OPEN CHANNELS AND ROCK BATTERS DURING ALL PHASES OF CONSTRUCTION.
- 12. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED TO ENSURE THAT THEY OPERATE EFFECTIVELY. REPAIRS AND/OR MAINTENANCE SHALL BE UNDERTAKEN REGULARLY AND AS REQUIRED, PARTICULARLY FOLLOWING RAIN EVENTS.
- 13. RECEPTORS FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER SHALL BE DISPOSED OF IN ACCORDANCE WITH REGULATORY AUTHORITY REQUIREMENTS. CONTRACTOR TO PAY ALL FEES AND PROVIDE EVIDENCE OF SAFE DISPOSAL.
- 14. IF A TEMPORARY SEDIMENT BASIN IS REQUIRED, ENSURE SAFE BATTER SLOPES IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. MAINTAIN ADEQUATE STORAGE VOLUME IN ACCORDANCE WITH PLANS. TEMPORARY PUMP 'CLEAN FLOCCULATED' WATER TO COUNCILS STORMWATER SYSTEM . ENSURE WHOLE SITE RUN-OFF IS DIRECTED TO TEMPORARY SEDIMENT BASIN.

LANDSCAPING

- 1. REFER TO DRAWINGS BY OTHERS FOR DETAILS OF PROPOSED LANDSCAPING TREATMENT.
- 2. ALL DISTURBED SURFACE TO BE TEMPORARILY STABILISED WITH HYDROMULCH UPON COMPLETION OF WORKS. A 500mm STRIP OF TURF (CT2 COUCH) IS TO BE PLACED BEHIND ALL NEW KERB AND GUTTER / ROLL KERB.

ARCHITECT

STORMWATER DRAINAGE

- ALL PIPES SHALL BE CLASS 2 RUBBER-RING JOINTED RCP U.N.O. WHERE uPVC PIPES HAVE BEEN SPECIFIED, THE FOLLOWING CLASS PIPEWORK IS TO BE ADOPTED U.N.O. Ø100mm OR LESS TO BE CLASS 'SN10' AND ABOVE Ø100mm TO BE CLASS 'SN8'.
- uPVC STORMWATER LINES PASSING UNDER FLOOR SLABS TO BE CONCRETE ENCASED.
- FRC PIPES EQUAL TO THAT OF THE STEEL REINFORCED CONCRETE PIPE CLASS SPECIFIED ON THE DRAWINGS MAY BE USED SUBJECT TO APPROVAL FROM THE SUPERINTENDENT.
- 4. ALL PIPE ARE TO BE LAID AT 1.0% MIN GRADE U.N.O.
- - 5.1. USE HOT DIPPED GALVANISED COVERS AND GRATES COMPLYING WITH RELEVANT COUNCIL AND AUSTRALIAN STANDARDS
 - 5.2. ALL COVERS AND GRATES TO BE POSITION IN A FRAME AND MANUFACTURED AS A UNIT. 5.3. ALL COVERS AND GRATES TO BE FITTING WITH POSITIVE
 - COVER LIFTING KEYS 5.4. OBTAIN SUPERINTENDENTS APPROVAL FOR THE USE OF CAST IRON SOLID COVERS AND GRATES. CAST IRON SOLID COVERS (IF APPROVED) TO CONSIST OF CROSS-WEBBED,

CELLULAR CONSTRUCTION WITH THE RIBS UPPERMOST TO

- ALLOW INFILLING WITH CONCRETE. INSTALL POSITIVE COVER LIFTING KEYS AND PLASTIC PLUGS. 5.5. UNLESS DETAILED OR SPECIFIED OTHERWISE, COVERS AND GRATES TO BE CLASS 'D' IN VEHICULAR PAVEMENTS AND CLASS 'B' ELSEWHERE.HEEL-SAFE GRATES SHALL BE
- USED IN ALL PEDESTRIAN AREAS. 5.6. ALL GRATED TRENCH DRAINS SHOULD BE 'CLASS D' CAST IRON WITHIN VEHICULAR PAVEMENTS AND CLASS 'B' HEEL
- SAFE WITHIN PEDESTRIAN PAVEMENTS. 5.7. ALL COVERS AND GRATES SHALL BE BOLT-DOWN SUCH THAT ONLY ACCESS BY MAINTENANCE CONTRACTORS WITH APPROPRIATE TOOLS IS POSSIBLE.
- ALL PIPE BENDS, JUNCTIONS, ETC ARE TO BE PROVIDED USING PURPOSE MADE FITTINGS OR STORMWATER PITS.
- ALL CONNECTIONS TO EXISTING DRAINAGE STRUCTURES SHALL BE MADE IN A TRADESMAN-LIKE MANNER AND CEMENT RENDERED TO ENSURE A SMOOTH FINISH.
- STORMWATER PIPEWORK TO FINISH FLUSH WITH INTERNAL PIT WALLS AND MUST NOT PROTRUDE. CONNECTION TO BE NEATLY RENDER AND MADE NEAT.
- THE CONTRACTOR SHALL SUPPLY AND INSTALL ALL FITTINGS AND SPECIALS INCLUDING VARIOUS PIPE ADAPTORS TO ENSURE PROPER CONNECTION BETWEEN DISSIMILAR
- 10. U.N.O. MATERIAL USED FOR BEDDING OF PIPES SHALL BE APPROVED NON-COHESIVE GRANULAR MATERIAL HAVING HIGH PERMEABILITY AND HIGH STABILITY WHEN SATURATED AND FREE OF ORGANIC AND CLAY MATERIAL.
- 11. WHERE TRENCHES ARE IN ROCK. THE PIPE SHALL BE BEDDED ON A MIN 50mm CONCRETE BED (OR 75mm THICK BED OF 12mm BLUE METAL) UNDER THE BARREL OF THE PIPE. THE PIPE COLLAR AT NO POINT SHALL BEAR ON THE ROCK.
- 12. BEDDING SHALL BE U.N.O TYPE HS2 UNDER ROADS AND H2 UNDER GENERAL AREAS IN ACCORDANCE WITH CURRENT RELEVANT INDUSTRY STANDARDS AND GUIDELINES.
- 13. THE CONTRACTOR SHALL ENSURE AND PROTECT THE INTEGRITY OF ALL STORMWATER PIPES DURING CONSTRUCTION. ANY AND ALL DAMAGE TO THESE PIPES AS A RESULT OF THESE WORKS SHALL BE REPAIRED BY THE CONTRACTOR UNDER THE DIRECTION OF THE SUPERINTENDENT AND AT NO EXTRA COST.
- 14. NOTE THAT THE PIT COVER LEVEL NOMINATED IN GUTTERS ARE TO THE INVERT OF THE GUTTER WHICH ARE 40mm LOWER THAN THE PAVEMENT LEVEL AT LIP OF GUTTER. REFER KERB DETAILS FOR CONFIRMATION.
- 15. SUBSOIL DRAINAGE
- 15.1. Ø100mm SUBSOIL DRAINAGE LINES WITH NON-WOVEN GEOTEXTILE FILTER SOCK SURROUND SHALL BE CONNECTED TO A STORMWATER DRAINAGE PIT (AT MIN 1% LONGITUDINAL GRADE) AND PROVIDED IN THE FOLLOWING LOCATIONS;
- 15.1.1. THE HIGH SIDE OF PROPOSED TRAFFICKED PAVEMENT
- 15.1.2. ALL PLANTER AND TREE BEDS PROPOSED ADJACENT TO
- PAVEMENT AREAS. 15.1.3. BEHIND RETAINING WALLS (IN ACCORDANCE WITH
- RETAINING WALL DETAILS) 15.1.4. ALL OTHER AREAS SHOWN ON DRAWINGS.
- 15.1.5. CONTRACTOR IS TO MAKE ALLOWANCE IN BOTH TENDER AND CONSTRUCTION COSTING TO ALLOW FOR SUBSURFACE DRAINAGE BEHIND ALL RETAINING WALLS / ABOVE LOCATIONS AND TO MAKE CONNECTION TO STORMWATER SYSTEM.
- 15.2 WHERE SUBSOIL DRAINAGE PASSES BENEATH BUILDINGS / PAVED AREAS AND/OR PAVEMENTS. CONTRACTOR TO ENSURE Ø100mm CLASS 'SN10' uPVC DRAINAGE LINE IS USED AND THAT PROPRIETARY FITTINGS ARE USED TO RECONNECT SUBSOIL DRAINAGE LINE.
- 15.3 THE CONTRACTOR SHALL INSTALL INSPECTION OPENINGS / CLEAROUTS TO ALL SUBSOIL DRAINAGE LINES AND DOWNPIPE LINES AS SPECIFIED ON DRAWINGS AND IN ACCORDANCE WITH COUNCIL SPECIFICATIONS AT MAXIMUM 30m CENTRE AND AT ALL **UPSTREAM ENDPOINTS.**

STORMWATER DRAINAGE (cont)

- 15.4. PROVIDE 3.0m LENGTH OF Ø100 SUBSOIL DRAINAGE LINE WRAPPED IN NON-WOVEN GEOTEXTILE FILTER FABRIC TO THE UPSTREAM SIDE OF STORMWATER PITS, LAID IN STORMWATER PIPE TRENCHES AND CONNECTED TO DRAINAGE PIT.
- 16. IN AREAS WHERE DUMPED / HAND PLACED ROCK IS USED AS A MEANS OF SCOUR PROTECTION, CONTRACTOR IS TO EXCAVATE A MINIMUM OF 100mm FROM PROPOSED SURFACE, LEVEL AND COMPACT SUBGRADE AS SPECIFIED. ROCK TO THEN BE PLACED ON GEOTEXTILE FILTER FABRIC.
- 17. ALL STORMWATER DRAINAGE PITS DEEPER THAN 1.0m SHALL BE FITTED WITH STEP IRONS.

EARTHWORKS

- 1. AT THE COMMENCEMENT OF FILLING OPERATIONS FOR BULK EARTHWORKS A GEOTECHNICAL ENGINEER IS TO VISIT THE SITE & CONFIRM THE SUITABILITY OF THE METHODOLOGY OF ACHIEVING THE REQUIRED COMPACTION REQUIREMENTS.
- 2. STRIP TOPSOIL, VEGETABLE MATTER AND RUBBLE TO EXPOSE NATURALLY OCCURRING MATERIAL AND STOCKPILE ON SITE AS DIRECTED BY THE SUPERINTENDENT.
- 3. WHERE FILLING IS REQUIRED TO ACHIEVE DESIGN SUBGRADE, PROOF ROLL EXPOSED NATURAL SURFACE WITH A MINIMUM OF TEN PASSES OF A VIBRATING ROLLER (MINIMUM STATIC WEIGHT OF 10 TONNES) IN THE PRESENCE OF THE SUPERINTENDENT.
- 4. THE CONTRACTOR IS TO ALLOW FOR A SUITABLY QUALIFIED GEOTECHNICAL ENGINEER TO PROVIDE ADVICE AND CERTIFICATION OF ANY WORKS ASSOCIATED WITH TREATING OR MANAGING UNSUITABLE GROUND CONDITIONS THROUGHOUT THE CONTRACT (e.g. STABILITY OF EXCAVATIONS, POOR SUBGRADE, etc).
- 5. ALL SOFT, WET OR UNSUITABLE MATERIAL IS TO BE REMOVED AS DIRECTED BY THE SUPERINTENDENT AND REPLACED WITH APPROVED MATERIAL SATISFYING THE REQUIREMENTS BELOW.
- 6. PROVIDE CERTIFICATES VERIFYING THE QUALITY OF IMPORTED MATERIAL FOR THE SUPERINTENDENTS
- ALL FILL MATERIAL SHALL BE PLACED IN MAXIMUM 200mm THICK LAYERS (LOOSE) AND COMPACTED AT OPTIMUM MOISTURE CONTENT (+ OR - 2%) TO ACHIEVE A DRY DENSITY DETERMINED IN ACCORDANCE WITH AS1289.2.1.1. AS1289.5.7.1 AND AS1289.5.8.8 OF NOT LESS THAN THE FOLLOWING STANDARD MINIMUM DRY DENSITY;

LOCATION: LANDSCAPED AREAS ROADS

PAVED AREAS

APPROVAL.

COMPACTION REQUIREMENT: 98% SMDD 100% SMDD (IN ACCORDANCE WITH COUNCIL SPECIFICATIONS) 100% SMDD (IN ACCORDANCE WITH COUNCIL SPECIFICATIONS)

- 8. TESTING OF THE SUBGRADE FOR BUILDINGS SHALL BE CARRIED OUT BY AN APPROVED N.A.T.A. REGISTERED
- ALLOW THE FOLLOWING COMPACTION TESTING BY N.A.T.A. REGISTERED LABORATORY FOR PLATFORMS AND FILL LAYERS IN ACCORDANCE WITH THE LATEST VERSION OF AS3798. (MINIMUM 3 TESTS PER LAYER) OR 1 TEST PER MATERIAL TYPE PER 2500sq.m OR 1 TEŚT
- 10. WHERE TEST RESULTS ARE BELOW THE SPECIFIED COMPACTION, RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION STANDARDS ARE ACHIEVED, OTHERWISE SUBGRADE REPLACEMENT IS REQUIRED IF COMPACTION STANDARDS ARE NOT ACHIEVED.
- 11. ALLOW FOR EXCAVATION IN ALL MATERIALS AS FOUND U.N.O. NO ADDITIONAL PAYMENTS WILL BE MADE FOR EXCAVATION IN WET OR HARD GROUND.
- 12. WHERE THERE IS INSUFFICIENT EXCAVATED MATERIAL SUITABLE FOR FILLING OR SUBGRADE REPLACEMENT, THE CONTRACTOR IS TO ALLOW TO IMPORT FILL. IMPORTED FILL SHALL COMPLY WITH THE FOLLOWING; 12.1. BE OF VIRGIN EXCAVATED NATURAL MATERIAL OR 12.2. CONTRACTOR TO PROVIDE EVIDENCE IMPORT IS
- SUITABLE USE 12.3. PLASTICITY INDEX BETWEEN 2-15% AND CBR > 8 12.4. FREE FROM ORGANIC AND PERISHABLE MATTER 12.5. MAXIMUM SIZE 50mm, PASSING 75 MICRON SIEVE
- 13. THE CONTRACTOR SHALL PROGRAM THE EARTHWORKS OPERATION SO THAT THE WORKING AREAS ARE ADEQUATELY DRAINED DURING THE PERIOD OF CONSTRUCTION. THE SURFACE SHALL BE GRADED AND SEALED OFF TO REMOVE DEPRESSIONS, ROLLERS MARKS AND SIMILAR WHICH WOULD ALLOW WATER TO POND AND PENETRATE THE UNDERLYING MATERIAL. ANY DAMAGE RESULTING FROM THE CONTRACTOR NOT OBSERVING THESE REQUIREMENTS SHALL BE RECTIFIED AT THEIR COST.
- 14. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE AND MAINTAIN THE INTEGRITY OF ALL SERVICES, CONDUITS AND PIPES DURING CONSTRUCTION, SPECIFICALLY DURING THE BACKFILLING AND COMPACTION PROCEDURE. ANY AND ALL DAMAGE TO NEW OR EXISTING SERVICES AS A RESULT OF THESE WORKS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST.

EARTHWORKS (cont)

15. TESTING OF THE SUBGRADE SHALL BE CARRIED OUT BY AN APPROVED N.A.T.A. REGISTERED LABORATORY AT THE CONTRACTORS EXPENSE.

DEEP EXCAVATIONS

- 16. PRIOR TO THE COMMENCEMENT OF EXCAVATION WORKS OBTAIN THE SERVICES OF A SUITABLY QUALIFIED GEOTECHNICAL ENGINEER TO DETERMINE THE STABILITY OF A NATURAL MATERIAL AND BENCHING REQUIREMENTS.
- 17. THE CONTRACTOR MUST PROVIDE THE SUPERINTENDENT AND OR THE DESIGN ENGINEER WITH A COPY OF THE GEOTECHNICAL ENGINEERS REPORT.
- 18. THE CONTRACTOR IS TO PROVIDE SAFETY BARRIERS / FENCING IN ACCORDANCE WITH OH&S AND REGULATORY AUTHORITY REQUIREMENTS.

SERVICE TRENCHES

- 19. SAWCUT EXISTING SURFACES PRIOR TO EXCAVATION. BACKFILL ALL TRENCHES UNDER EXISTING ROADS, PAVEMENTS AND PATHS WITH STABILISED SAND 5% CEMENT OR DGS40 MATERIAL (5% CEMENT) COMPACTED IN 200mm THICK LAYERS TO 98% MMDD TO UNDERSIDE OF PAVEMENT.
- 20. BACKFILL ALL TRENCHES NOT UNDER ROADS, PAVEMENTS. PATHS AND BUILDINGS WITH APPROVED EXCAVATED OR IMPORTED MATERIAL COMPACTED TO 95% SMDD.

SITEWORKS

- 1. ALL WORKS TO BE IN ACCORDANCE WITH RELEVANT LOCAL COUNCIL / REGULATORY AUTHORITIES REQUIREMENTS, ALL SPECIFICATIONS AND AUSTRALIAN STANDARDS. CONFLICTS BETWEEN SAID DOCUMENTS SHALL BE REFERRED TO THE SUPERINTENDENT FOR DIRECTION.
- 2. THE CONTRACTOR IS TO DESIGN, OBTAIN APPROVALS AND CARRY OUT REQUIRED TEMPORARY TRAFFIC CONTROL PROCEDURES DURING CONSTRUCTION IN ACCORDANCE WITH ALL REGULATORY AUTHORITIES, INCLUSIVE OF LOCAL COUNCIL REGULATIONS AND REQUIREMENTS.
- THE CONTRACTOR IS TO OBTAIN ALL AUTHORITY APPROVALS AS REQUIRED PRIOR TO COMMENCEMENT OF
- RESTORE ALL PAVED, COVERED, GRASSED AND LANDSCAPED AREAS TO THEIR ORIGINAL CONDITION OR AS DIRECTED BY THE SITE SUPERINTENDENT ON COMPLETION OF WORKS. WHERE PLANTING OF NEW GRASS IS NECESSARY REFER TO LANDSCAPE ARCHITECT AND / OR ARCHITECT DOCUMENTATION.
- ON COMPLETION OF ANY TRENCHING WORKS, ALL DISTURBED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR AS DIRECTED BY THE SITE SUPERINTENDENT, INCLUDING KERBS, FOOTPATHS, CONCRETE AREAS, GRAVEL, GRASSED AREAS AND ROAD PAVEMENTS.
- THE CONTRACTOR SHALL ARRANGE ALL SURVEY SETOUT TO BE CARRIED OUT BY A REGISTERED SURVEYOR PRIOR TO COMMENCEMENT OF WORKS.
- 7. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING LEVELS ONSITE PRIOR TO LODGMENT OF TENDER AND ONSITE WORKS. THE PRICE AS TENDERED SHALL BE INCLUSIVE OF ALL WORKS SHOWN ON THE TENDER PROJECT DRAWINGS. ADDITIONAL PAYMENTS FOR WORKS SHOWN ON THE TENDER PROJECT DRAWINGS WILL NOT BE APPROVED.
- 8. DO NOT OBTAIN DIMENSIONS BY SCALING DRAWINGS.
- 9. IN CASE OF DOUBT OR DISCREPANCY REFER TO SUPERINTENDENT FOR CLARIFICATION OR CONFIRMATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- 10. WHERE NEW WORKS ABUT EXISTING THE CONTRACTOR SHALL ENSURE THAT A SMOOTH EVEN PROFILE, FREE FROM ABRUPT CHANGES IS OBTAINED. MAKE SMOOTH TRANSITION TO EXISTING FEATURES AND MAKE GOOD WHERE JOINED.
- 11. TRENCHES THROUGH EXISTING ROAD AND CONCRETE PAVEMENTS SHALL BE SAWCUT TO FULL DEPTH OF CONCRETE AND A MIN 50mm IN BITUMINOUS PAVING.
- 12. ALL CIVIL ENGINEERING DESIGN HAS BEEN DOCUMENTED UNDER THE ASSUMPTION THAT ALL NECESSARY SITE CONTAMINATION REMEDIATION WORKS HAVE BEEN SATISFACTORILY COMPLETED (IF APPLICABLE) AND THAT THE SITE IS NOT AFFECTED BY ANY SOIL STRATA OR GROUNDWATER TABLE CONTAMINATION.

PAVEMENTS

- ALL PAVEMENT MATERIALS SHALL COMPLY WITH CURRENT RMS SPECIFICATIONS. PROVIDE MECHANICAL ANALYSIS FOR EACH BATCH OF PAVEMENT MATERIAL TO ENSURE CONFORMITY.
- COMPACTION STANDARDS

98% MODIFIED MAXIMUM DRY DENSITY BASE 98% MODIFIED MAXIMUM DRY DENSITY SUBBASE **SUBGRADE** 100% STANDARD MAXIMUM DRY DENSITY

- 3. THE CONTRACTOR SHALL CONFIRM THE DESIGN CBR WITH A MINIMUM OF 3 TESTS TAKEN AT SUBGRADE LEVEL. WHERE DISCREPANCY IS FOUND, CONTACT THE DESIGN ENGINEER.
- ALLOW FOR COMPACTION TESTING BY A N.A.T.A. REGISTERED LABORATORY FOR BASE LAYER, SUBBASE LAYER AND SUBGRADE LAYER IN ACCORDANCE WITH THE LATEST VERSION OF AS3798 FOR PAVEMENTS (MINIMUM 2 TESTS PER LAYER). ALLOW FOR AT LEAST TWO

SUCCESSFUL COMPACTION TESTS IN EACH LAYER.

- 5. MATCH NEW PAVEMENTS NEATLY AND FLUSH WITH EXISTING
- AFTER BASE IS APPROVED, SWEEP CLEAN AND PRIME AT NOMINAL RATE OF 1.0L PER 1.0 sq.m.
- PAVEMENT HOLD POINTS
- 7.1. SUB-GRADE PROOF ROLL PRIOR TO SET-UP AND FORM FOR CONCRETE POUR.
- 7.2. INSPECTION OF FORMWORK / STEEL PRIOR TO CONCRETE POUR.
- 7.3. SUBMISSION OF SUB-GRADE AND BASE DENSITY

PRECAST STORMWATER PITS

- 1. ALL PITS ARE TO BE PRECAST BY AUS PITS. WHERE A PRECAST PIT BY AUS PITS IS SUBSTITUTED WITH AN ALTERNATIVE SEPARATE APPROVAL WILL BE REQUIRED.
- 2. PRE CAST PITS ARE TO BE SPECIFICALLY MANUFACTURED FOR THE PROJECT.
- 3. THE CONTRACTOR IS TO OBTAIN STRUCTURAL CERTIFICATION WHICH IS SIGNED BY A REGISTERED ENGINEER(STRUCTURAL) FOR EACH PRECAST PIT PRIOR
- TO PLACING. 4. THE STRUCTURAL CERTIFICATION IS TO INCLUDE ANY
- PRECAST PITS ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER AND COUNCIL SPECIFICATIONS.
- 6. THE CONTRACTOR IS TO CONSULT DIRECTLY WITH THE
- MANUFACTURER PRIOR TO MODIFYING ANY PRECAST PITS. 7. PRECAST PITS DAMAGED IN TRANSPORT AND

INSTALLATION CANNOT BE USED.

INSTALLATION GUIDELINES.

ALLOW CONNECTION.

DIAMETER.

ADDITIONAL PRECAST ELEMENTS.

- 8. REFER MANUFACTURERS SPECIFICATIONS FOR
- 9. PRECAST PIT TO BE PLACED ON MINIMUM 150mm THICK CONCRETE PAD AND BED MINIMUM 50mm WHILST CONCRETE IS STILL PARTIALLY WET.
- 10. ENSURE PENETRATION IS CORED THROUGH PIT FACE TO
- 11. ENSURE A SMOOTH SEALED FINISH AT PIPE CONNECTIONS BY HAND APPLYING CONCRETE AROUND THE PIPE ON THE INTERNAL FACE OF THE PIT TO FILL IN ANY VOIDS CREATED
- 12. ENSURE A SEALED FINISH AT PIPE CONNECTIONS BY HAND-APPLYING MINIMUM 150mm THICK CONCRETE

AROUND PIPE AT THE EXTERNAL FACE OF THE PIT.

WHEN PENETRATION FOR THE PIPE WAS CORED.

- 13. ENSURE CONCRETE DOES NOT AFFECT THE INTEGRITY OF THE SUBSOIL DRAINAGE CONNECTED TO THE PIT.
- 15. ENSURE PIPEWORK DOES NOT PROTRUDE INTO THE BEYOND THE WALL. PIPEWORK IS TO FINISH FLUSH WITH INTERNAL WALL (UNLESS OTHERWISE NOTED OR DETAILED).
- 16. ENSURE THE OUTLET PIPE IS CONNECTED AT THE INVERT LEVEL OF THE PIT TO DRAIN. ALTERNATIVELY FILL THE BASE OF THE PIT WITH MASS CONCRETE (MIN 50mm THICK) OR APPROVED GROUTING COMPOUND (LESS THAN 50mm THICK) TO DRAIN.
- 17. PROVIDE CONCRETE BENCHING TO SIDES OF PIT TO SUIT PIPE DIAMETER. HEIGHT TO MATCH MINIMUM 1/3 PIPE

REV. DESCRIPTION DRAWN DESIGNED VERIFIED APPROVED DATE 1 ISSUED FOR DEVELOPMENT APPROVAL 26.10.2023

webber





LAND AND HOUSING CORPORATION 195 - 197 DIBBS STREET EAST LISMORE NSW 2480

PROJECT TITLE

FAMILY & COMMUNITY SERVICES

DRAWING STATUS DEVELOPMENT APPROVAL SCALE COORDINATE SYSTEM DATUM AHD

AS SHOWN SHEET SIZE | PROJECT NUMBER 8976-DA

DRAWING TITLE **GENERAL NOTES & LEGEND** SHEET 1 OF 2

DRAWING NUMBER REVISION

PROPOSED STORMWATER PIPELINE JUNCTION PIT EXISTING STORMWATER PIPELINE KERB INLET PIT EXISTING STORMWATER PIPELINE EXISTING STORMWATER PIPELINE JUNCTION PIT SITE BOUNDARY Ø150mm uPVC @1% STORMWATER PIPE AND FLOW DIAMETER GRATE TRENCH DRAIN 150mm W x 120mm D SUBSOIL DRAINAGE FLUSH POINT **UNIT BOUNDARY** -----FLOW DIRECTION **DESIGN CONTOURS** POWER POLE OVERHEAD ELECTRICITY LINE —— —— eE(SVC/OH) CONSTRUCTION FENCE SITE FENCE SUBSOIL DRAINAGE

PROPOSED

EXISTING

LEGEND

RETAINING WALL

STORMWATER PIPELINE GRATED PIT

STORMWATER PIPELINE KERB INLET PIT

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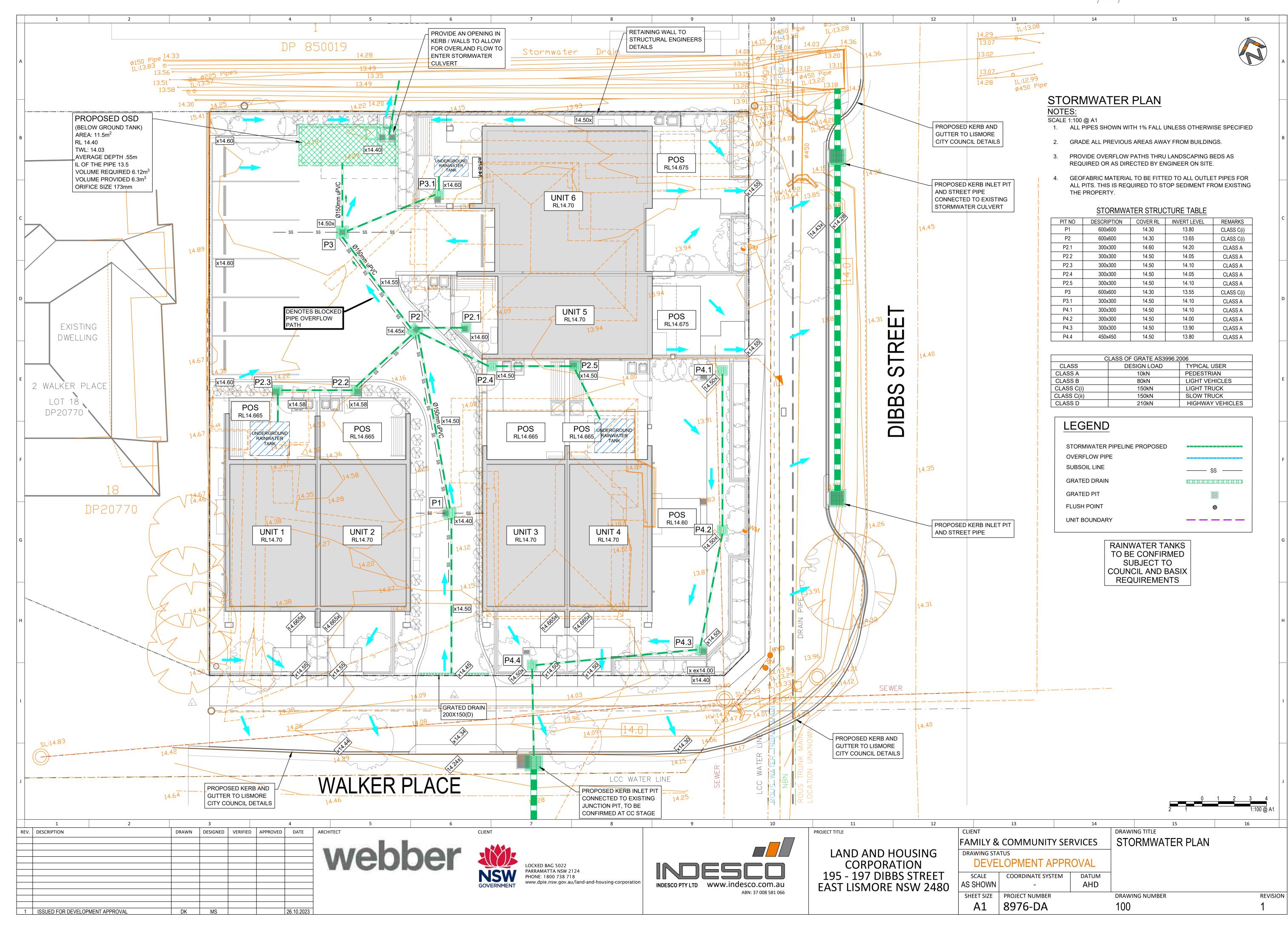
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CORPORATION
195 - 197 DIBBS STREET
EAST LISMORE NSW 2480

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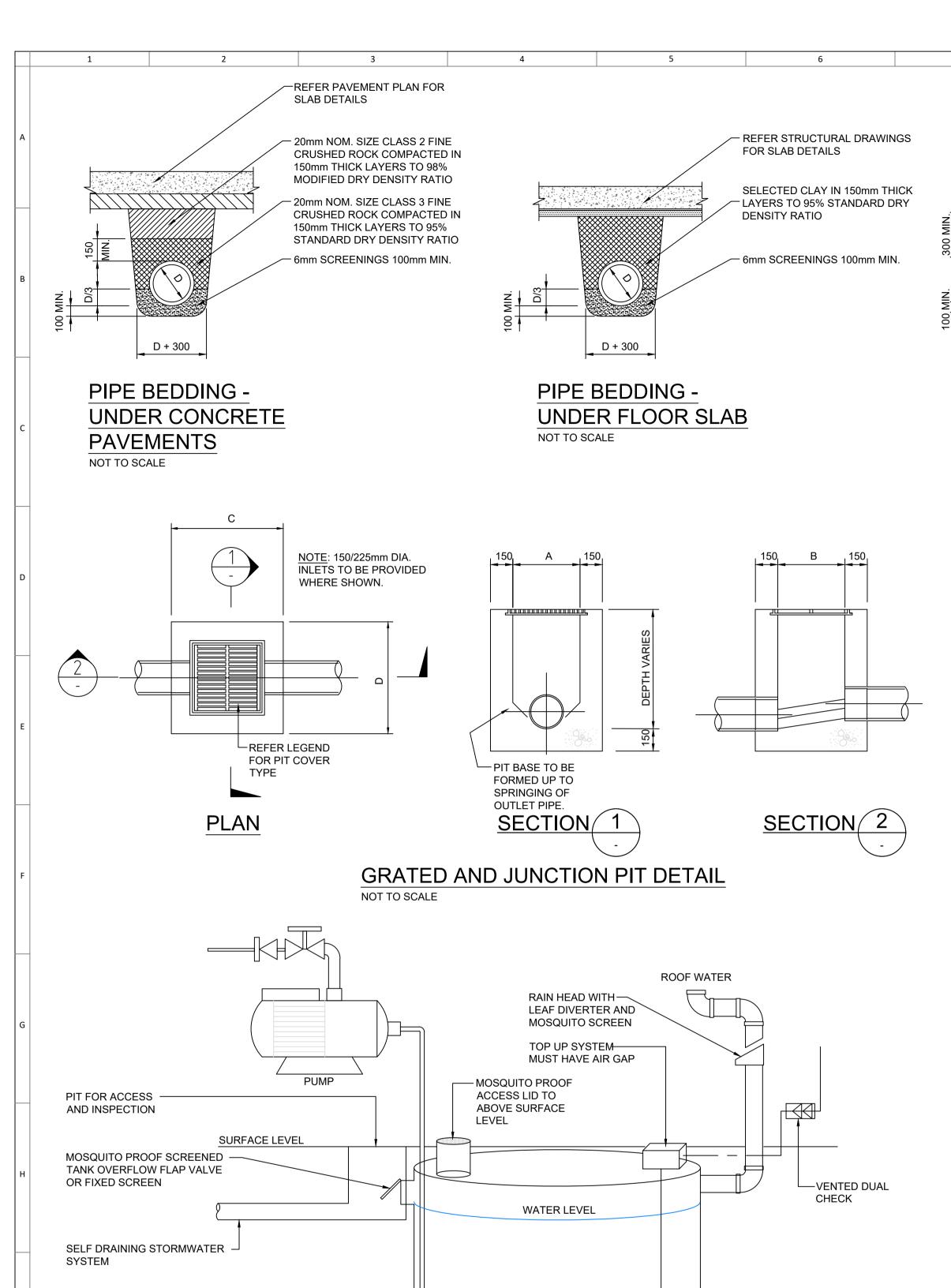
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DEVELOPMENT APPROVAL				
SCALE	COORDINATE SYSTEM	DATUM		
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14



-150mm TOP SOIL. REFER LANDSCAPE ARCHITECT FOR SPECIFICATION -CONSOLIDATED SELECTED FILL COMPACTED WITH MECHANICAL PLATE IN 150mm THICK LAYERS - 20mm NOM. SIZE CLASS 3 FINE CRUSHED ROCK COMPACTED IN 150mm THICK LAYERS TO 95% STANDARD DRY DENSITY RATIO 6mm SCREENINGS 100mm MIN. D + 300

PIPE BEDDING -IN LANDSCAPING NOT TO SCALE

BACKFILL WITH 20mm NOMINAL SIZE SCREENINGS. - 0.4mm FORTECON MEMBRANE - 90mm DIA SLOTTED uPVC PIPE AT 1 IN 100 MIN. GRADE.

12

AGRICULTURAL DRAIN (SS) **DETAIL**

NOT TO SCALE

10

NOTES:

- ALL PITS IN VEHICLE PAVEMENT AREAS SHALL BE CLASS 'C' GATIC CAST IRON GRATE OR COVER OR EQUAL APPROVED TYPE UNLESS NOTED OTHERWISE.
- ALL GRATED PITS IN FOOTPATH AND PEDESTRIAN PAVEMENTS SHALL BE APPROVED TYPE HEEL GUARD DDA COMPLIANT GRATES.
- INSTALL HOT-DIPPED GALVANISED STEEL STEP IRONS AT 300 mm INTERVAL IN ALL PITS OF 900x900 IN EXCESS OF 1.0 METRE DEPTH.
- 4. ALL MILD STEEL GRATES AND FRAMES SHALL BE HOT-DIPPED GALVANISED IN ACCORDANCE WITH AS1650-1981.
- 5. TOP OF PITS SHALL MATCH SLOPE AND LEVEL OF ADJOINING FINISHED SURFACE LEVELS.
- CONCRETE F'c = 40 MPa SULPHATE RESISTANT CEMENT QUARRY MIXED WITH XYPEX. OR APPROVED TYPE PRECAST PITS WITH 2% CEMENT STABILISED SAND BACK FILLING.

REVISION

DRAWING TITLE REV. DESCRIPTION DRAWN DESIGNED VERIFIED APPROVED DATE STORMWATER DETAILS FAMILY & COMMUNITY SERVICES webber LAND AND HOUSING CORPORATION DRAWING STATUS **DEVELOPMENT APPROVAL** NSW PARRAMATTA NSW 2124 PHONE: 1800 738 718 195 - 197 DIBBS STREET SCALE COORDINATE SYSTEM DATUM AS SHOWN INDESCO PTY LTD www.indesco.com.au **EAST LISMORE NSW 2480** ABN: 37 008 581 066 SHEET SIZE | PROJECT NUMBER DRAWING NUMBER 8976-DA

— FLOAT SET TO ALLOW 1000 LTS IN TANK

TOP UP FROM MAINS SUPPLY

UNDERGROUND RAINWATER TANK DETAIL

TANK TAPS PROVIDED ARE TO BE MARKED "RAINWATER-NOT FOR HUMAN CONSUMPTION"

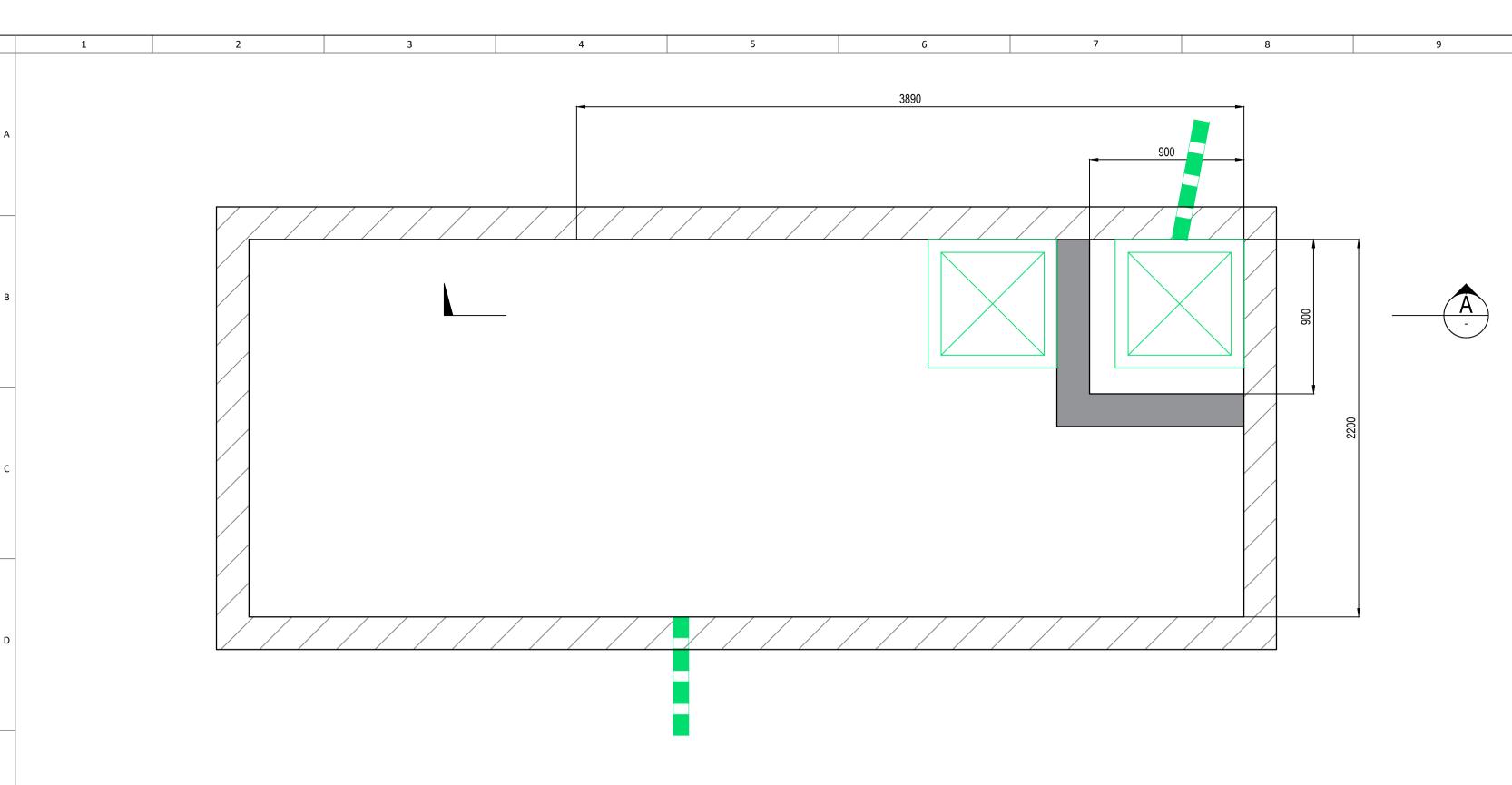
MINIMUM WATER QUANTITY

FOOT VALVE

1 ISSUED FOR DEVELOPMENT APPROVAL

SLUDGE ZONE -

NOT TO SCALE



OSD PLAN

SCALE 1:20

– 600 x 600 GRATE OPENING LOCKABLE GRATE REFER TO MESH -SCREEN DETAIL (INSPECTION PIT) ∇ RL 14.03 - 1 IN 100 YEAR
 ∇ RL 13.82 - 1 IN 5 YEAR
 OVERFLOW CHAMBER 1% FALL IL 13.50 - Ø225 SEWER GRADE PIPE CONNECTED TO STORMWATER CULVERT PROVIDE REBATE TO FIX - 3 mm GALVANIZED ORIFICE PLATE (CORROSION RESISTANT) TO BE FILLED WITH ORIFICE PLATE CONCRETE OR GROUT REFER TO ORIFICE PLATE AFTER ORIFICE PLATE

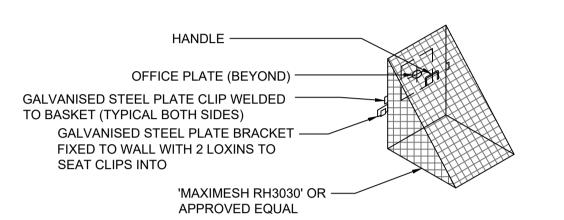
INSTALLATION



DANGER CONFINED SPACE NO ENTRY WITHOUT CONFINED SPACE **TRAINING**

OSD TANK CONFINED SPACE SIGN

SCALE 1:50



TRASH SCREEN DETAIL

SCALE 1:20

OSD Calculator				
Job Description:	195-197 Dibbs Street LISMORE			
Tributary Area		% IMP Developed	I _{1hr,50yr} (mm/hr)	
(m ²)	% IMP Existing Conditions	Conditions	read from fig =>	
1174	30.0	76.0	82	
	Natural	Existing	Post Development	
F1 - 5yr	1.00	1.10	1.20	
F1 - 100yr	1.00	1.08	1.19	
F2	1.11			
F3		0.08	0.17	
F4		0.58	0.58	
PSD 5yr (l/s/ha)	243	268	292	
PSD 100yr (I/s/ha)	426	461	505	
SSR 5yr (m³/ha)		23	53	
SSR 100yr (m ³ /ha)		40	92	

OSD Requireme	ents
Flow 5yr (l/s)	31.4
Flow 100yr (I/s)	54.2
Volume 5yr (m³)	3.59
Volume 100yr (m³)	6.12

THIS IS AN **ON-SITE STORMWATER DETENTION SYSTEM** IT IS AN OFFENSE TO TAMPER WITH

<u>NOTE:</u> PLATE CAN BE 150x100mm AND INSTALLED TO SIDE OF ACCESS

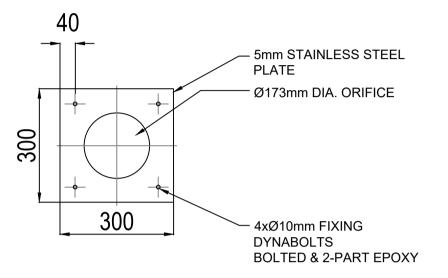
OPENING IF NEEDED.

WRITTEN CONSENT OF LISMORE CITY COUNCIL THIS PLATE MUST NOT BE REMOVED

THIS DEVICE WITHOUT THE

OSD SIGN

SCALE 1:50



ORIFICE PLATE DETAIL

SCALE 1:20

Engineer:	MS		
Job Address:	195-197 Dibbs Street	Job No.:	8976
	EAST LISMORE		
Equation:	Q = CA (2gh) ^{0.5}		
	Discharge, Q₅	0.0314	m³/s
	Coefficient of Discharge, C	0.61	
	Acceleration to gravity, g	9.81	m^2/s
	Depth of Water, h5	0.244	
	Orifice area, A	0.02353	m ²
Orifice Size:	Diameter of Orifice	173	mm

REVISION

OSD TANK SECTIONS AND DETAILS

DRAWN DESIGNED VERIFIED APPROVED DATE ARCHITECT REV. DESCRIPTION 1 ISSUED FOR DEVELOPMENT APPROVAL

webber



PHONE: 1800 738 718 www.dpie.nsw.gov.au/land-and-housing-corporation



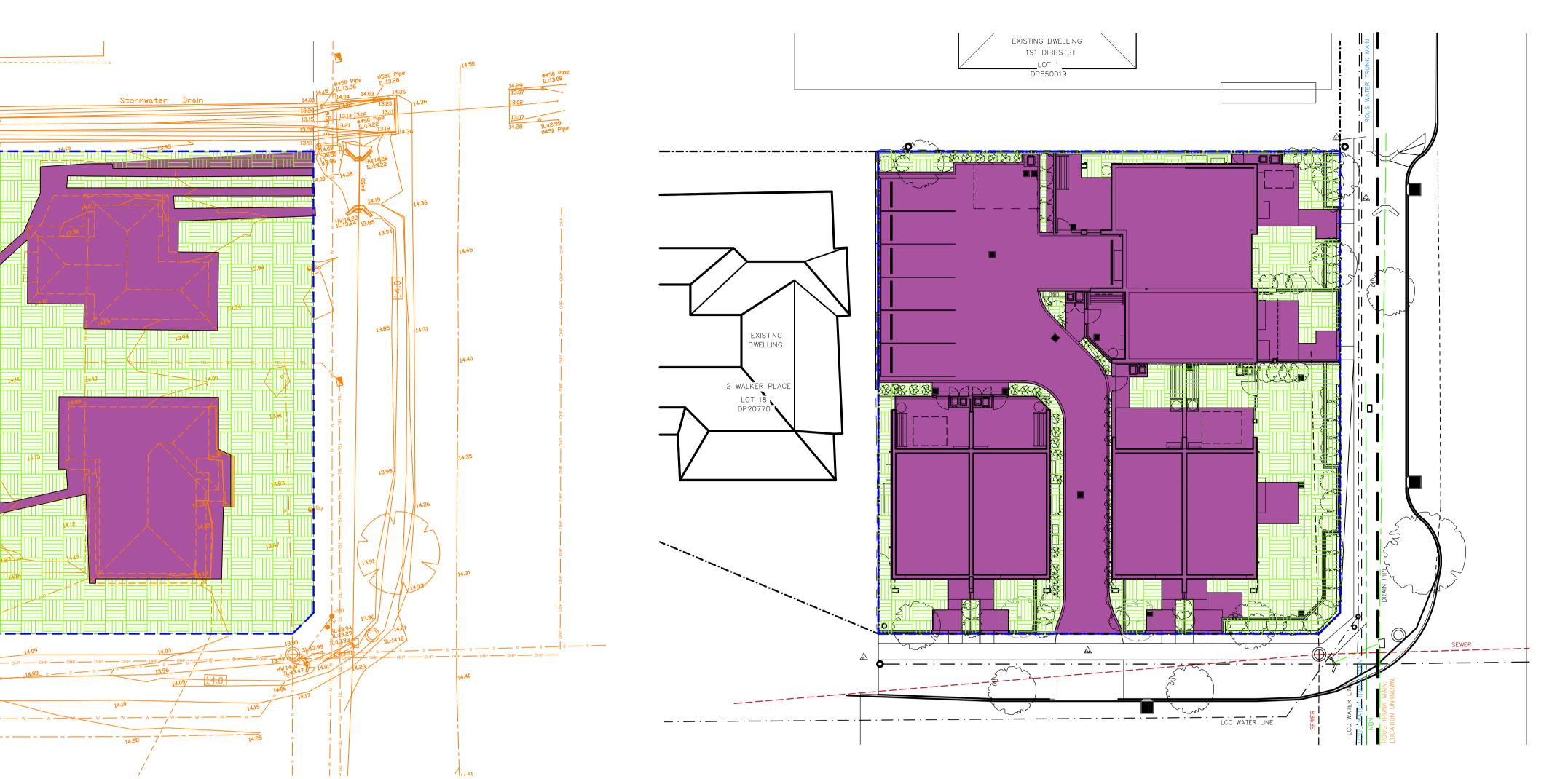
LAND AND HOUSING
CORPORATION
195 - 197 DIBBS STREET
EAST LISMORE NSW 2480

PROJECT TITLE

	CLIENT	·			
	FAMILY & COMMUNITY SERVICE				
	DEVELOPMENT APPROVA				
	SCALE	COORDINATE SYSTEM	DAT		
1	AS SHOWN	_	AH		

RAWING STA	TUS		
DEVE	LOPMENT APPR		
SCALE	COORDINATE SYSTEM	DATUM	
S SHOWN	-	AHD	
SHEET SIZE	PROJECT NUMBER		DRAWING NUMBER
A1	8976-DA		501

DRAWING TITLE



EXISTING SITE CONDITIONS SCALE 1:200 AT A1

LEGEND SUB CATCHMENT BOUNDARY EXISTING IMPERVIOUS AREA EXISTING PERVIOUS AREA

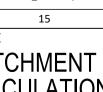
PROPOSED SITE CONDITIONS

SCALE 1:200 AT A1

LEGEND	
SUB CATCHMENT BOUNDARY	
PROPOSED IMPERVIOUS AREA	
PROPOSED PERVIOUS AREA	

OSD Calculator				
Job Description:	195-197 Dibbs Street LISMORE			
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Volume 100yr (m ³)	6.12	



REV.	DESCRIPTION	DRAWN	DESIGNED	VERIFIED	APPROVED	DATE
		+				
		_				
		+	<u> </u>			
1	ISSUED FOR DEVELOPMENT APPROVAL	DK	MS			26.10.202





LAND AND HOUSING CORPORATION 195 - 197 DIBBS STREET EAST LISMORE NSW 2480

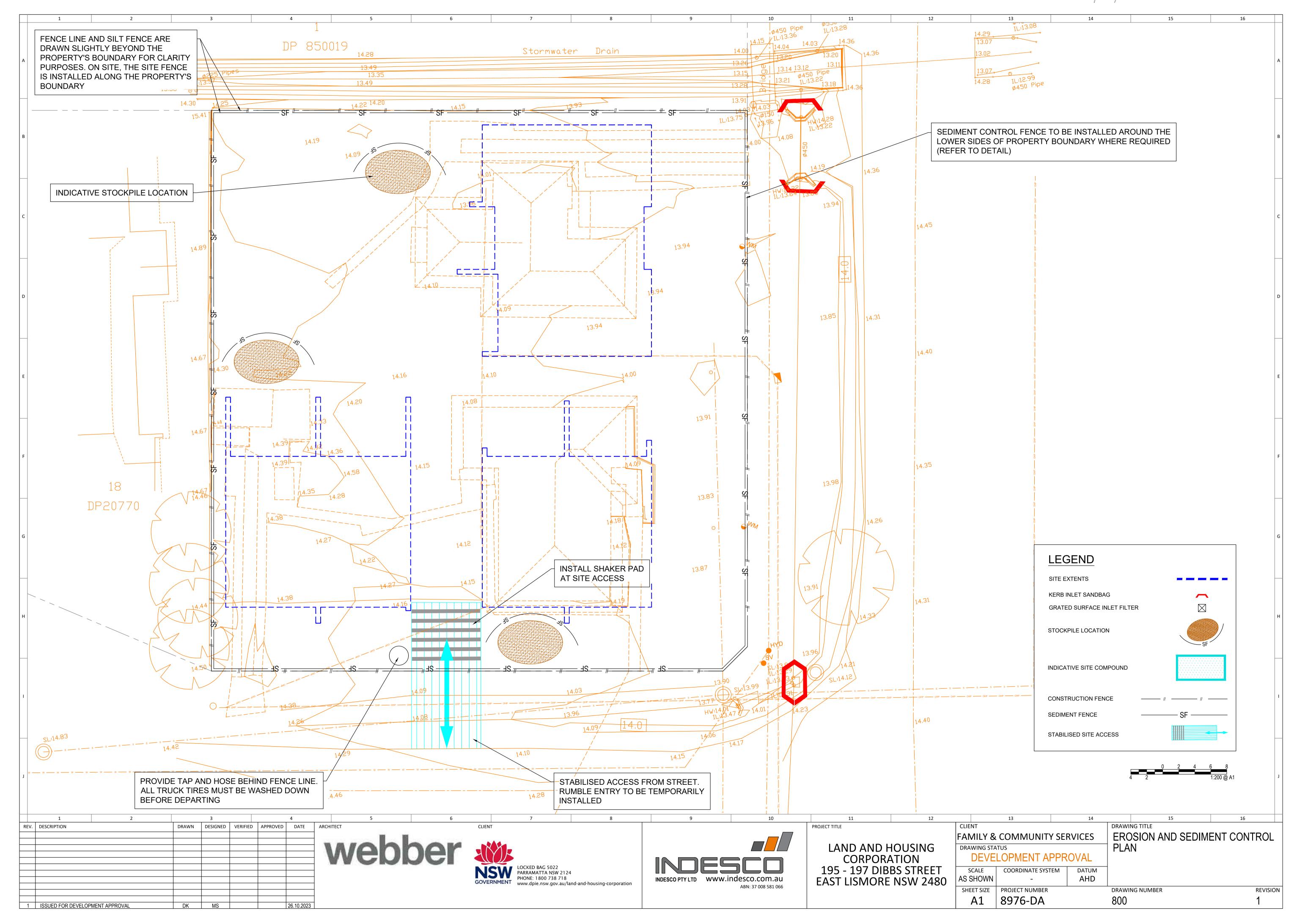
PROJECT TITLE

CLIENT				
FAMILY & COMMUNITY SERVICES				
DRAWING STATUS				
DEVELOPMENT APPROVAL				
SCALE	COORDINATE SYSTEM	DATUM		
AS SHOWN	-	AHD		

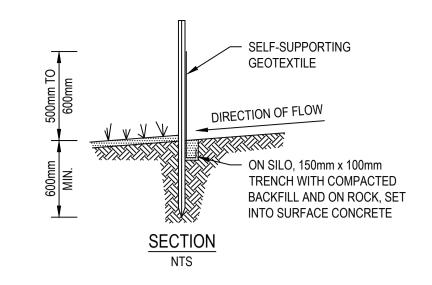
DRAWING TITLE OSD CATCHMENT PLAN AND CALCULATIONS

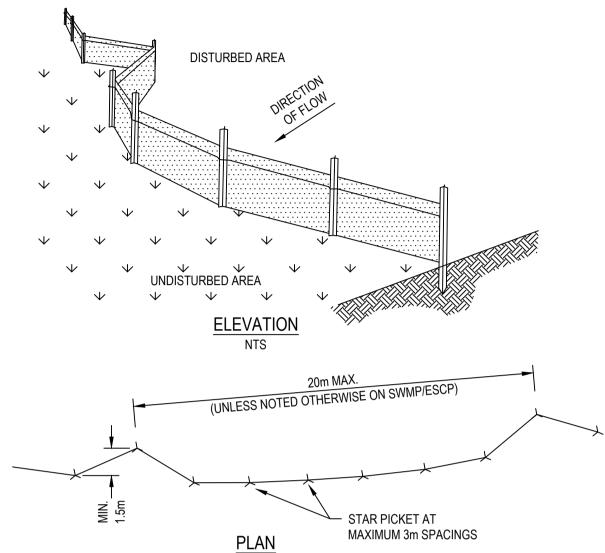
SHEET SIZE PROJECT NUMBER A1 8976-DA

DRAWING NUMBER REVISION



1.2m STAR PICKET DRIVEN 600mm INTO GROUND -





EXISTING ROADWAY

GENERAL CONSTRUCTION NOTES

DGB20 ROAD BASE OF

30mm AGGREGATE —

REV. DESCRIPTION

1 ISSUED FOR DEVELOPMENT APPROVAL

RUNOFF DIRECTED TO

SEDIMENT TRAP/FENCE

GEOTEXTILE FABRIC DESIGNED TO PREVENT INTERMIXING OF SUBGRADE AND

BASE MATERIALS AND TO MAINTAIN GOOD

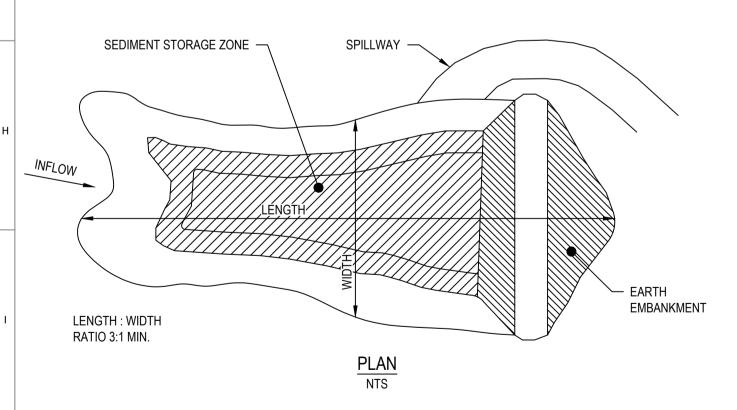
PROPERTIES OF THE SUBBASE LAYERS.

GEOTEXTILE MAYBE WOVEN OR NEDDLE

PUNCHED PRODUCT WITH A MINIMUM CBR BURST STRENGTH (AS3706.4-90) OF 2500 N.

- STRIP THE TOPSOIL, LEVEL THE SITE AND COMPACT THE SUBGRADE.
- 2. COVER THE AREA WITH NEEDLE PUNCHED GEOTEXTILE.
- 3. CONSTRUCT A 200mm THICK PAD OVER THE GEOTEXTILE USING ROAD BASE OR 30mm AGGREGATE.
- 4. ENSURE THE STRUCTURE IS AT LEAST 15 METRES LONG OR TO BUILDING ALIGNMENT AND AT LEAST 3 METRES WIDE.
- 5. WHERE A SEDIMENT FENCE JOINS ONTO THE STABILISED ACCESS, CONSTRUCT A HUMP IN THE STABILISED ACCESS TO DIVERT WATER TO SEDIMENT FENCE.

STABILISED SITE ACCESS SD 6-14



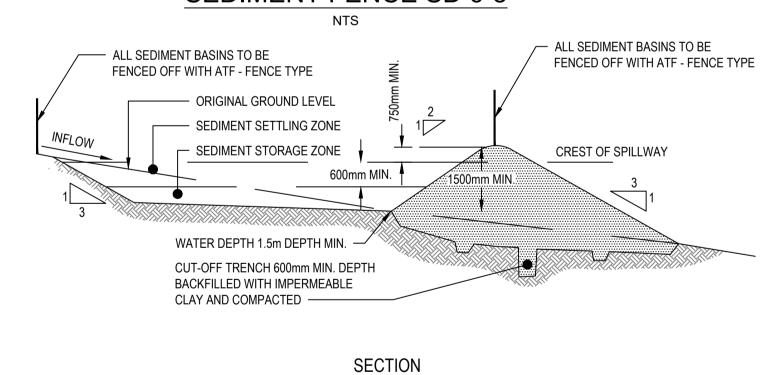
DRAWN DESIGNED VERIFIED APPROVED DATE

ARCHITECT

GENERAL CONSTRUCTION NOTES

- CONSTRUCTION SEDIMENT FENCES AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE
- 2. DIVE 1.5m LONG STAR PICKETS INTO GROUND, 3m APART
- 3. DIG A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED
- 4. BACKFILL TRENCH OVER BASE OF FABRIC
- 5. FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER
- 6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP

SEDIMENT FENCE SD 6-8



GENERAL CONSTRUCTION NOTES

- REMOVE ALL VEGETATION AND TOPSOIL FROM UNDER THE DAM WALL AND FROM WITHIN THE STORAGE AREA
- CONSTRUCT A CUT-OFF TRENCH 500mm DEEP AND 1,200mm WIDE ALONG THE CENTRELINE OF THE EMBANKMENT EXTENDING TO A POINT ON THE GULLY WALL LEVEL WITH THE RISER CREST 3. MAINTAIN THE TRENCH FREE OF WATER AND RECOMPACT THE MATERIALS WITH EQUIPMENT AS SPECIFIED IN THE SWMP TO
- 95% STANDARD PROCTOR DENSITY
- SELECT FILL FOLLOWING THE SWMP THAT IS FREE OF ROOTS, WOOD ROCK LARGE STONE OR FOREIGN MATERIAL
- 5. PREPARE THE SITE UNDER THE EMBANKMENT BY RIPPING TO AT LEAST 100mm TO HELP BOND COMPACTED FILL TO THE EXISTING SUBSTRATE
- SPREAD THE FILL IN 100mm TO 150mm LAYER AND COMPACT IT AT OPTIMUM MOISTURE CONTENT FOLLOWING THE SWMP CONSTRUCT THE EMERGENCY SPILLWAY
- 8. REHABILITATE THE STRUCTURE FOLLOWING THE SWMP

webber

EARTH BASIN SD 6-4

LOCKED BAG 5022



CORPORATION 195 - 197 DIBBS STREET **EAST LISMORE NSW 2480**

CLIENT FAMILY & COMMUNITY SERVICES **DRAWING STATUS DEVELOPMENT APPROVAL** SCALE COORDINATE SYSTEM

SHEET SIZE | PROJECT NUMBER

8976-DA

AS SHOWN

DRAWING TITLE **EROSION AND SEDIMENT** CONTROL NOTES AND DETAILS DATUM DRAWING NUMBER REVISION

GENERAL CONSTRUCTION NOTES

GRADIENT OF

DIRECTION OF FLOW

DRAIN 1% TO 5% -

- CONSTRUCT WITH GRADIENT OF 1% TO 5%
- 2. AVOID REMOVING TREES AND SHRUBS IF POSSIBLE
- 3. DRAINS TO BE CIRCULAR, PARABOLIC OR TRAPEZOIDAL CROSS SECTION NOT V-SHAPED
- 4. EARTH BANKS TO BE ADEQUATELY COMPACTED IN ORDER TO PREVENT FAILURE 5. PERMANENT OR TEMPORARY STABILISATION OF THE EARTH BANK TO BE COMPLETED WITHIN 10 DAYS OF CONSTRUCTION

10

- 6. ALL OUTLETS FROM DISTURBED LANDS ARE TO FEED INTO A SEDIMENT BASIN OR SIMILAR
- 7. DISCHARGE RUNOFF COLLECTED FROM UNDISTURBED LANDS ONTO EITHER A STABILISED OR AN UNDISTURBED DISPOSAL SITE WITHIN THE SAME SUBCATCHMENT AREA FROM WHICH THE WATER ORIGINATED

8. COMPACT BANK WITH A SUITABLE IMPLEMENT IN SITUATIONS WHERE THEY ARE REQUIRED TO FUNCTION FOR MORE THAN

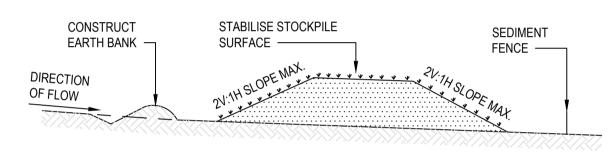
CAN BE CONSTRUCTED

NOTE: ONLY TO BE USED AS TEMPORARY BANK WHERE MAXIMUM UPSLOPE LENGTH IS 80m

WITH OR WITHOUT

9. EARTH BANKS TO BE FREE OF PROJECTIONS OR OTHER IRREGULARITIES THAT WILL IMPEDED NORMAL FLOW

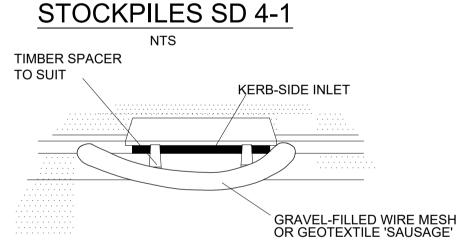
EARTH BANK (LOW FLOW) SD 5-2

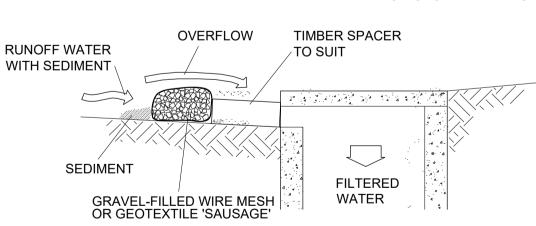


GENERAL CONSTRUCTION NOTES

- 2. CONSTRUCT ON THE CONTOUR AS A LOW, FLAT, ELONGATED MOUND
- 3. WHERE THERE IS SUFFICIENT AREA TOPSOIL STOCKPILES SHALL BE LASS THAN 2m IN HEIGHT
- 4. REHANILITATE IN ACCORDANCE WITH THE SWMP/ESCP

5. CONSTRUCT EARTH BANK (SD 5-2) ON THE UPSLOPE SIDE TO DIVERT RUN OFF AROUND THE STOCKPILE AND A SEDIMENT FENCE (SD 6-7) 1 TO 2m DOWNSLOPE OF STOCKPILE





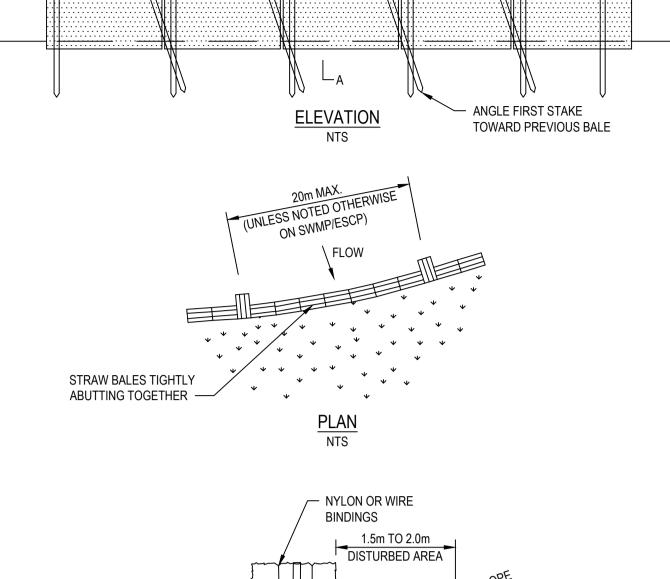
NOTE: THIS PRACTICE ONLY TO BE USED WHERE SPECIFIED IN AN APPROVED SWMP/ESCP.

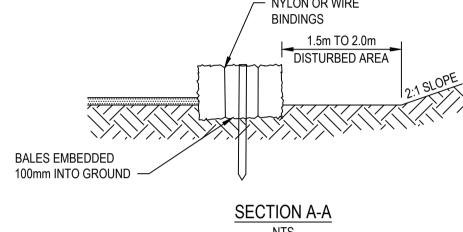
CONSTRUCTION NOTES

- INSTALL FILTERS TO KERB INLETS ONLY AT SAG POINTS.
- FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT AND FILL IT WITH 25 MM TO 50 MM GRAVEL. FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150 MM HIGH X 400 MM WIDE.
- 4. PLACE THE FILTER AT THE OPENING LEAVING AT LEAST A 100-MM SPACE BETWEEN IT AND THE KERB INLET. MAINTAIN THE OPENING WITH SPACER
- FORM A SEAL WITH THE KERB TO PREVENT SEDIMENT BYPASSING THE FILTER. SANDBAGS FILLED WITH GRAVEL CAN SUBSTITUTE FOR THE MESH OR GEOTEXTILE PROVIDING THEY ARE PLACED SO THAT THEY FIRMLY ABUT EACH OTHER AND SEDIMENT-LADEN WATERS CANNOT PASS BETWEEN.

MESH AND GRAVEL INLET FILTER SD 6-11

PROJECT TITLE

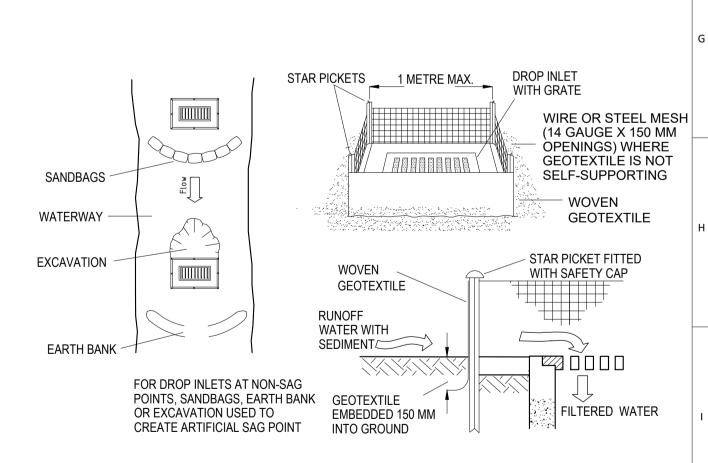




GENERAL CONSTRUCTION NOTES:

- 1. CONSTRUCTION STRAW BALE FILTER AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE OR THE TOE OF A SLOPE
- 1. LOCATE STOCKPILE AT LEAST 5m FROM EXISTING VEGETATION, CONCENTRATED WATER FLOWS, ROADS AND HAZARD AREAS 2. PLACE BALES LENGTHWISE IN A ROW WITH ENDS TIGHTLY ABUTTING. USE STRAW TO FILL ANY GAPS BETWEEN BALES. STAIRS TO BE PLACED PARALLEL TO GROUND
 - 3. MAXIMUM HEIGHT OF FILTER IS ONE BALE
 - 4. ON SOFT MATERIALS, EMBED EACH BALE IN THE GROUND 75mm TO 100mm AND ANCHOR WITH TWO 1.2 STAR PICKETS. ANGLE THE FIST STAKE IN EACH BALE TOWARDS THE PREVIOUSLY LAID BALE. DRIVE STAKES 600mm INTO THE GROUND AND FLUSH WITH THE TOP OF THE BALES
 - 5. WHERE A STRAW BALE FILTER IS CONSTRUCTED DOWNSLOW FROM THE TOE OF THE BATTER

STRAW BALE FILTER SD 6-7



CONSTRUCTION NOTES

- FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE OR STRAW
- FOLLOW STANDARD DRAWING 6-8 FOR INSTALLATION PROCEDURES FOR
- GEOFABRIC. REDUCE THE PICKET SPACING TO 1 METRE CENTRES IN WATERWAYS, ARTIFICIAL SAG POINTS CAN BE CREATED WITH
- SANDBAGS OR EARTH BANKS AS SHOWN IN THE DRAWING.
- DO NOT COVER THE INLET WITH GEOTEXTILE UNLESS THE DESIGN IS ADEQUATE TO ALLOW FOR ALL WATERS TO BYPASS IT.

GEOTEXTILE INLET FILTER SD 6-12



PARRAMATTA NSW 2124

www.dpie.nsw.gov.au/land-and-housing-corporation

PHONE: 1800 738 718

LAND AND HOUSING