



ACTIVITY DETERMINATION

Determined by the New South Wales Land and Housing Corporation Project No. BGYYE

Conflict of Interest¹

In this matter:

1. I have declared any possible conflict of interests (real, potential, or perceived) to the Acting Head of Housing Portfolio, Homes NSW.
2. I do not consider I have any personal interests that would affect my professional judgement.
3. I will inform the Acting Head of Housing Portfolio, Homes NSW as soon as I become aware of a possible conflict of interest.

Signed.....

Dated.....**06.06.24**

Yolanda Gil
Acting Executive Director, Portfolio Strategy and Origination
Housing Portfolio
Homes NSW

Having regard to the Determination Recommendation Report, the Statement of Compliance and the Review of Environmental Factors for this project addressing matters under Part 5 of the *Environmental Planning and Assessment Act 1979*, I, as a delegate of the New South Wales Land and Housing Corporation, determine that the activity proceed as described below and subject to the identified requirements set out in **Schedule 1**.

SITE IDENTIFICATION

STREET ADDRESS

Unit/Street No

195 & 197

Street or property name

Dibbs Street

Suburb, town or locality

East Lismore

Postcode

2480

Local Government Area(s)

Lismore

Real property description (Lot and DP)

Lot 20 in DP 20770 and Lot 1 in DP 121490

ACTIVITY DESCRIPTION

Provide a description of the activity

Demolition of 2 dwellings and construction of a multi-dwelling housing development comprised of 6 dwellings, (4 x 2 bedroom and 2 x 3 bedroom units), parking for 7 vehicles, associated site works, landscaping, tree removal, road widening works along Dibbs Street and consolidation of 2 lots into a single lot.

¹ Conflict of interest includes actual and potential. A conflict of interest includes pecuniary i.e. financial interests to you or a related party or non-pecuniary i.e. benefits to relatives, friends, business associates and personal causes, etc. This includes "related persons" as defined in the Property, Stock and Business Agency Act 2002.

Signed.....


Dated.....
06.06.24

Yolanda Gil
Acting Executive Director, Portfolio Strategy and Origination
Housing Portfolio
Homes NSW

SCHEDULE 1

IDENTIFIED REQUIREMENTS

PART A – Standard Identified Requirements

THE DEVELOPMENT

The following Identified Requirements are to ensure that the residential activity is carried out in accordance with the plans / documents and any amendments arising from the Review of Environmental Factors under Part 5 of the Environmental Planning & Assessment Act 1979, Section 171 of the Environmental Planning and Assessment Regulation 2021 and the requirements of State Environmental Planning Policy (Housing) 2021.

1. The development shall be carried out substantially in accordance with the following plans / documents as modified below and by any of the undermentioned Identified Requirements:

Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
Architectural – Appendix A				
Coversheet	2882 / 0101	I	20.11.23	Webber Architects
Site & Block Analysis	2882 / 0201	I	20.11.23	Webber Architects
Demolition Plan	2882 / 0202	I	20.11.23	Webber Architects
Site Plan	2882 / 0203	J	20.11.23	Webber Architects
Shadow Diagrams	2882 / 0204	I	20.11.23	Webber Architects
Ground Floor Plan	2882 / 0301	J	20.11.23	Webber Architects
First Floor Plan	2882 / 0302	J	20.11.23	Webber Architects
Roof Plans (Block A&B)	2882 / 0330	I	20.11.23	Webber Architects
Elevations – Sheet 1	2882 / 0401	I	20.11.23	Webber Architects
Elevations – Sheet 2	2882 / 0402	I	20.11.23	Webber Architects
Streetscape elevation & sections	2882 / 0501	I	20.11.23	Webber Architects
Doors and Windows Schedule	2882 / 0801	B	21.09.23	Webber Architects
Landscape Plan – Appendix B				
Site Analysis	L01	F	20.11.23	Green Space Planning
Landscape Plan	L02	F	20.11.23	Green Space Planning
Plan Schedule	L03	F	20.11.23	Green Space Planning
Stormwater Plans – Appendix B				
Cover Sheet	8976-DA-000	1	26.10.23	Indesco
General Notes & Legends (1/2)	8976-DA-001	B	26.10.23	Indesco
General Notes & Legends (2/2)	8976-DA-002	1	11.08.23	Indesco
Stormwater Plan Sheet	8976-DA-100	1	26.10.23	Indesco
Stormwater Details	8976-DA-500	1	26.10.23	Indesco

Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
OSD Tank Sections and Details Plan	8976-DA-501	1	26.10.23	Indesco
OSD Catchment Plan	8976-DA-601	1	26.10.23	Indesco
Erosion and Sediment Control Plan	8976-DA-800	1	26.10.23	Indesco
Erosion and Sediment Control Notes and Details	8976-DA-810	1	26.10.23	Indesco
Survey Plan – Appendix D				
Detail Survey	Survey Ref:151687	1	30.06.22	RPS Australia East
Notification Plans – Appendix E				
Cover Page	2882 / 0111	F	30.11.23	Webber Architects
Site & Landscape Plan	2882 / 0112	E	20.11.23	Webber Architects
Elevations 1	2882 / 0113	E	20.11.23	Webber Architects
Elevations 2	2882 / 0114	E	20.11.23	Webber Architects
Schedule of Finishes	2882 / 0115	E	20.11.23	Webber Architects
Shadow Diagrams	2882 / 0116	D	20.11.23	Webber Architects
Notification Letters & Submissions – Appendix G				
Specialist Reports				
Access Report – Appendix H	PAA_22260	Revision 1	26.10.23	Purple Apple Access
Preliminary Tree Report – Appendix J	22034	Final	01.12.23	Northern Tree Care
BASIX Certificate – Appendix K	1424113M_04	-	30.11.23	-
Thermal Performance Specifications – Appendix L	437/2023	-	27.9.23	Evergreen Energy Consultants
NatHERS Certificate – Appendix N	0008952410	-	30.11.23	Evergreen Energy Consultants
Geotechnical Investigation Assessment – Appendix P	22/2250	-	June 2022	STS Geotechnics Pty Ltd
Waste Management Plan – Appendix R	-	A	02.11.23	Webber Architects
Traffic and Parking Impact Assessment – Appendix S	-	-	14.09.23	SECA Solution

- All building work is to be undertaken in accordance with the National Construction Code and referenced Australian Standards.
- All commitments listed in the BASIX certificate and stamped plans shall be implemented.
- All construction documentation and building work is to be certified in accordance with Section 6.28 of the Environmental Planning and Assessment Act 1979.
- The land the subject of this determination shall be consolidated into a single lot. The plan of consolidation shall be lodged at the NSW Land Registry Services and shall be registered prior to the occupation of the development. A copy of the registered plan shall be provided to the Land & Housing Corporation.

OPERATIONAL MATTERS

The following Identified Requirements relate to the use of the site and are to ensure that the activity and its operation do not interfere with the amenity of the surrounding area.

Stormwater Run-off

6. Stormwater shall be collected within the site and conveyed in a pipeline to the appropriate gutter or drain under the control of Lismore City Council substantially in accordance with the approved concept stormwater drainage plans.
7. Alterations to the natural surface contours or surface absorption characteristics of the site shall not impede, increase, or divert natural surface water runoff so as to cause a nuisance to adjoining property owners.
8. All driveways shall be graded in such a manner as to provide continuous surface drainage flow paths to the appropriate points of discharge.
9. To prevent water from entering buildings, surface waters shall be collected and diverted clear of the buildings by a sub-surface / surface drainage system.

Vehicular Access & Parking

10. A concrete vehicular crossing and layback shall be provided at the entrance/ exit to the property. The crossing and layback shall be constructed in accordance with Lismore City Council's standard requirements for residential crossings. The Council shall be provided with plans for the crossing and layback together with the payment of any council inspection fees.
11. Particular care shall be taken in the location of vehicular crossings and/or laybacks to avoid poles, pits etc. The cost of any necessary adjustments to utility mains and services associated with the construction of the layback / driveway shall be borne by the Land & Housing Corporation. Where required, obsolete gutter layback(s) shall be constructed as kerb in accordance with Lismore City Council's standards.

Note:

It is recommended that discussion be held with the relevant authorities before construction works commence.

12. Car parking spaces and the driveway shall be constructed of concrete or other approved hard surfaced materials. The spaces must be clear of obstructions and columns, permanently line marked and provided with adequate manoeuvring facilities. The design of these spaces must comply with AS 2890.1.

Site Works

13. All soil erosion and sediment control measures required to be put in place prior to the commencement of demolition / construction works shall be maintained during the entire period of the works until all the disturbed areas are restored by turfing, paving or revegetation. Soil erosion and sediment control measures shall be designed in accordance with the guidelines set-out in the Blue Book *Managing Urban Stormwater: Soils and Construction* (4th edition, Landcom, 2004).

14. An appropriately qualified person shall design retaining walls or other methods necessary to prevent the movement of excavated or filled ground, including associated stormwater drainage measures.

Building Siting

15. All buildings shall be sited well clear of any easements affecting the site. The builder shall ascertain if any easements do exist and, if they do, obtain full details of such prior to construction commencing.

Smoke Detection System(s)

16. Smoke detection systems shall be installed throughout the buildings in accordance with requirements of the National Construction Code. Detectors and alarms shall comply with AS 3786 and AS 1670 and must:
- i. be connected to a permanent 240V power supply; and
 - ii. be provided with a battery backup to activate the alarm unit in the event of failure of the permanent power supply.

Site Soil Contamination

17. If the site is identified as being potentially affected by soil contamination, it shall be inspected by a suitably qualified person to identify any contaminated or hazardous material present. A proposal for remediation shall be prepared, which may include preparation of a Remedial Action Plan, and remediation shall be carried out in accordance with the proposal. A Validation Report, prepared in accordance with Environment Protection Authority requirements, shall be obtained from a qualified expert on completion of the remediation work to verify that the site is suitable for the intended residential use. A copy of the Validation Report shall be provided to the Land & Housing Corporation on completion of the remediation works.

Landscaping

18. Landscaping shall be carried out substantially in accordance with the approved Landscape Plan(s), except as modified by;
- i) The turfed areas identified as “lawn” on the approved landscape plan for all 6 units, aside from the eastern “lawn” area for Unit 4 must be amended to mulched gardens with ground covers planted at a density of at least 4 plants per square metre.

All landscaping shall be maintained for a period of 12 months by the building contractor. Lismore City Council shall be consulted in relation to the planting of any street trees.

19. All scheduled plant stock shall be pre-ordered, prior to commencement of construction or 3 months prior to the commencement of landscape construction works, whichever occurs sooner, for the supply to the site on time for installation. The builder shall provide written confirmation of the order to the Land & Housing Corporation.

Tree Removal

20. Removal of trees within the boundaries of the site is to be carried out in accordance with the trees shown for removal on the approved Landscape Plan and Preliminary Tree Report. Additionally, those trees (T25 and T26) located on the northern adjoining land

are approved for removal as landowners' consent from this property owner (dated 14 January 2024) has been obtained.

No other trees shall be removed without further approval(s).

Fencing

21. All front fencing and gates shall be constructed wholly within the boundaries of the site. Any gates associated with the fencing shall swing inwards towards the site.

Provision of Letterbox Facilities

22. Suitable letterbox facilities are to be provided in accordance with Australia Post specifications.

Public Liability Insurance

23. A valid public liability insurance policy of at least \$10M shall be maintained throughout the demolition / construction works by the contractor.

PRIOR TO ANY WORK COMMENCING ON THE SITE

The following Identified Requirements are to be complied with prior to any work commencing on the site, including demolition.

Disconnection of Services

24. All services that are required to be disconnected shall be appropriately disconnected and made safe prior to commencement of the demolition / construction works. The various service authorities shall be consulted regarding their requirements for the disconnection of services.
25. All existing services within the boundary to remain live shall be identified, pegged and made safe.

Demolition

26. The builder shall notify the occupants of premises on either side, opposite and at the rear of the site a minimum of 5 working days prior to demolition. Such notification shall be clearly written on an A4 size paper giving the date demolition will commence and be placed in the letterbox of every premise (including every unit in a multi-unit residential building or mixed use building). The demolition shall not commence prior to the date that is stated in the notice letter.
27. Prior to the demolition, a Work Plan shall be prepared by a competent person(s) in accordance with AS 2601 and shall be submitted to the Land & Housing Corporation. The Work Plan shall outline the identification of any hazardous materials (including surfaces coated with lead paint), method of demolition, the precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials.
28. If buildings to be demolished are determined as, or suspected of, containing asbestos cement, a standard commercially manufactured sign containing the words 'DANGER ASBESTOS REMOVAL IN PROGRESS', and measuring not less than 400mm x 300mm,

shall be erected in a prominent visible position on the site for the duration of the demolition works.

Note:

Any buildings constructed before 1987 is assumed to contain asbestos.

Utilities Service Provider Notification

29. The demolition / construction plans shall be submitted to the appropriate water utility's office (e.g., Lismore City Council / Sydney Water office etc.) to determine whether or not the development will affect the utility's sewer and water mains, stormwater drains and any easements.

Note:

If the development complies with water utility's requirements, the plans will be stamped indicating that no further requirements are necessary.

Council Notification

30. Lismore City Council shall be advised in writing, of the date it is intended to commence work, including demolition. A minimum period of **5** working days notification shall be given.

Site Safety

31. A sign shall be erected in a prominent position on any site on which demolition or building work is being carried out:
- (a) showing the name, address, and telephone number of the responsible Land & Housing Corporation officer for the work, and
 - (b) showing the name of the principal contractor (if any) and a telephone number on which that person may be contacted outside working hours, and
 - (c) stating that unauthorised entry to the work site is prohibited.

The sign shall be maintained while the work is being carried out but shall be removed when the work has been completed.

Note:

This Requirement does not apply in relation to building work that is carried out inside an existing building that does not affect the external walls of the building.

32. A minimum 1.8m high security fence or Class A / Class B (overhead) hoarding must be erected between the work site and any public place prior to demolition / construction. Access to the site shall be restricted to authorised persons only and the site shall be secured against unauthorised entry when demolition / construction work is not in progress, or the site is otherwise unoccupied.

Note:

Approval from the relevant road's authority will be required under Section 138 of the Roads Act 1993 where a Class A or B hoarding encroaches onto the footpath of / or a public thoroughfare within a classified road.

33. No building or demolition materials are to be stored on the footpath or roadway.

Site Facilities

34. The following facilities shall be installed on the site:
- (a) Toilet facilities shall be provided at the rate of 1 toilet for every 20 persons or part thereof employed at the site. Each toilet provided shall be a standard flushing toilet and shall be connected to a public sewer or if connection to a public sewer is not practicable, to an accredited sewerage management facility provided by Lismore City Council or if this is not practicable to some other council approved management facility.
 - (b) Adequate refuse disposal methods and builders' storage facilities. Builders' wastes, materials or sheds shall not to be placed on any property other than that which this approval relates to.
35. Access to the site shall only be provided via an all-weather driveway on the property and is not to be provided from any other site.

Protection of Trees

36. Trees and other vegetation that are to be retained on site and within the Dibbs Street verge, shall be protected prior to the commencement of works and for the duration of the construction period in accordance with the details provided in the Preliminary Tree Report.

Waste Management

37. A final Waste Management Plan shall be prepared and submitted to the Land & Housing Corporation by the building contractor prior to the commencement of demolition / construction. The plan shall detail the amount of waste material and the destination of all materials, recyclable and non-recyclable.

PRIOR TO ANY CONSTRUCTION WORK COMMENCING ON SITE

The following Identified Requirements are to be complied with prior to any construction works occurring on the site, excluding demolition.

Service Authority Clearances

38. A compliance certificate, or other evidence, shall be obtained from the relevant water utility provider, confirming service availability prior to work commencing.

Note:

Payment of water and/or sewer service charges and/or a notice of requirements for works to be carried out during construction / prior to occupation may be applicable prior to issue of the compliance certificate.

39. A written clearance from an electricity supply authority stating that electrical services are available to the site, or that arrangements have been entered into for the provision of services to the site, shall be obtained prior to work commencing.
40. A certificate from an approved telecommunications carrier certifying that satisfactory arrangements have been made for the provision of underground telephone services, to the site and to each dwelling, shall be obtained prior to work commencing.

41. Where the site is to be connected to reticulated gas, a certificate from an approved gas carrier to certify that satisfactory arrangements have been made to ensure the provision of underground gas services to each dwelling in the development shall be obtained prior to work commencing.

Stormwater Disposal

42. A detailed stormwater drainage plan(s), substantially in accordance with the approved concept stormwater drainage plan(s), shall be prepared and submitted to the Land & Housing Corporation. Any on-site detention system shall be designed in accordance with the relevant catchment authority's requirements (e.g. the Upper Parramatta River Catchment Trust On-site Detention Handbook) and/or Lismore City Council's drainage code.

DURING DEMOLITION AND CONSTRUCTION WORKS

The following Identified Requirements are to be complied with whilst demolition and construction works are occurring on the site.

Landfill

43. Where site filling is necessary, a minimum of 95% standard compacting shall be achieved and certified by a NATA registered Soils Lab.
44. Land fill materials must satisfy the following requirements:
- i. be Virgin Excavated Natural Matter (VENM);
 - ii. be free of slag, hazardous, contaminated, putrescible, toxic or radio-active matter; and
 - iii. be free of industrial waste and building debris.

Heritage

45. Historic and indigenous archaeological sites and relics are protected under the *Heritage Act 1977* and *National Parks and Wildlife Act 1974*, respectively. Should any relics be uncovered during the course of the approved works, work must cease immediately in the affected area. Subsequently, in cases where historical items have been uncovered, the Department of Climate Change, Energy, the Environment and Water must be contacted.
46. All workers / contractors on the site shall be informed of their obligations, under the *Heritage Act* and *National Parks and Wildlife Act 1974*, that it is illegal to disturb, damage or destroy a relic without the prior approval from the Department of Climate Change, Energy, the Environment and Water.

Demolition

47. Any existing structures identified for demolition shall be demolished prior to commencement of the construction of the activity.
48. Demolition shall be carried out in accordance with the appropriate provisions of AS 2601.

49. Where materials containing asbestos are to be removed, demolition shall be carried out by a licensed contractor(s) who have current SafeWork NSW accreditation in asbestos removal.
50. Removal of asbestos-based thermal or acoustic insulation, such as sprayed asbestos and asbestos-based lagging, including friable asbestos boards, shall be carried out in accordance with the National Occupational Health and Safety Commission's Code of Practice for the Safe Removal of Asbestos, 2nd Edition [NOHSC:2002 (2005)].
51. Hazardous or intractable wastes, including all asbestos laden waste, arising from the demolition process shall be removed and disposed of in accordance with the requirements of SafeWork NSW the Department of Climate Change, Energy, the Environment and Water.
52. Documentary evidence, in the form of tip receipts from an approved Waste Management Facility, shall be obtained by the demolition contractor and submitted to the Land & Housing Corporation demonstrating the appropriate disposal of the asbestos waste.
53. Demolition procedures shall maximise the reuse and recycling of demolished materials in order to reduce the environmental impacts of waste disposal.
54. During demolition, the public footpath and the public road shall not be obstructed by any vehicles. The public road and footpath shall be swept (not hosed) clean of any material, including clay, soil and sand.
55. All vehicles leaving the site with demolition materials shall have their loads covered and vehicles shall not track soil and other material onto the public roads and footpaths. The footpath shall be suitably protected against damage when plant and vehicles access the site. All loading of vehicles with demolished materials shall occur on site.

Survey Reports

56. Survey reports shall be submitted by the building contractor to the Land & Housing Corporation prior to the placement of the footings / slab and on completion of the dwellings to verify the correct position of the structures in relation to the allotment boundaries.

Hours of Demolition / Construction / Civil Work

57. Demolition / construction / Demolition / construction / civil work shall only occur on the site between the hours of 7.00am to 5.00pm Monday to Saturday with no work permitted on Sundays or public holidays.

Excavation & Backfilling

58. All excavations and backfilling associated with the demolition or erection of building(s) shall be executed safely and in accordance with appropriate professional standards. All such work shall be guarded and protected to prevent it from being dangerous to life or property.

Pollution Control

59. Any noise generated during the construction of the development shall not exceed the limits specified in the July 2009 Interim Construction Noise Guidelines, published by the former Department of Environment and Climate Change.

- 60. No fires shall be lit or waste materials burnt on the site.
- 61. No washing of concrete forms or trucks shall occur on the site.
- 62. Any contamination / spills on the site during construction works shall be actively managed and reported immediately to appropriate regulatory authorities to minimise any potential damage to the environment.
- 63. Dust generation during demolition / construction shall be controlled using regular control measures such as on site watering or damp cloth fences.
- 64. All vehicles transporting loose materials and travelling on public roads shall be secured (i.e. closed tail gate and covered) to minimise dust generation.
- 65. Non-recyclable waste and containers shall be regularly collected and disposed of at a licensed landfill or other disposal site in accordance with details set out in the final Waste Management Plan.

Impact of Construction Works

- 66. The Land & Housing Corporation shall bear the cost of any necessary adjustments to utility mains and services.
- 67. Care shall be taken to prevent any damage to adjoining properties. The building contractor shall be liable to pay compensation to any adjoining owner if, due to demolition/construction works, damage is caused to such adjoining property.

Termite Protection

- 68. To protect buildings from subterranean termite, termite barriers installed in accordance with AS 3660.1, shall be placed on the underside and in penetrations of the concrete slab floor.

In addition, a durable notice must be permanently fixed inside the meter box indicating:

- (a) the method of protection,
- (b) the date of installation of the system,
- (c) where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label, and
- (d) the need to maintain and inspect the system on a regular basis.

PRIOR TO OCCUPATION OF THE DEVELOPMENT

The following Identified Requirements are to be complied with prior to the occupation of the development.

General

- 69. The use or occupation of the development shall not commence until all the Identified Requirements of this determination have been complied with.

Council Infrastructure Damage

70. The cost of repairing any damage caused to Lismore City Council's assets in the vicinity of the site as a result of demolition / construction works shall be met in full by the building contractor.

Stormwater Drainage

71. Prior to occupation, a Work As Executed Plan shall be prepared by the building contractor clearly showing all aspects of the constructed stormwater drainage system, including any on-site detention system. The plan shall demonstrate general compliance with the approved concept stormwater drainage plan(s) and shall include:

- sufficient levels and dimensions to verify the constructed storage volumes; and
- location and surface levels of all pits; and
- invert levels of the internal drainage lines, orifice plates fitted and levels within the outlet control pits; and
- finished floor levels of all structures; and
- verification that any required trash screens have been installed; and
- locations and levels of any overland flow paths; and
- verification that any drainage lines are located wholly within easements, where applicable.

The Work-As-Executed Plan information shall be shown on the final civil works drawings.

A positive covenant and restriction-as-to-user shall be placed over the onsite detention system in accordance with Lismore City Council's on-site detention policy to ensure that the system will be adequately maintained. The positive covenant and restriction-as-to-user shall be registered at NSW Land Registry Services prior to occupation. A copy of the registered restriction-as-to-user shall be provided to the Land & Housing Corporation and Lismore City Council.

PART B – Additional Identified Requirements

Site Specific Requirements

72. Air Conditioning

Design and Installation

Air conditioning units as illustrated on architectural plans, must be designed, specified and installed to ensure that they comply with the requirements of the *Protection of the Environment Operations (Noise Control) Regulations 2017* and must not emit a noise that exceeds 5dB(A) above the ambient background noise level measured at any property boundary. Acoustic treatment may be required to ensure this is achieved.

Certification, from an appropriately qualified acoustic consultant, shall be provided at construction documentation stage that the air conditioning units can comply with this requirement.

Further certification, from an appropriately qualified acoustic consultant, shall be provided prior to occupation that the installed air conditioning units comply with this requirement.

On-Going

The use of any air-conditioning unit must comply with the requirements of the *Protection of the Environment Operations (Noise Control) Regulations 2017* and must not:

- (a) emit a noise that is audible within a habitable room in any adjoining residence (regardless of whether any door or window to that room is open);
 - (i) before 8.00 am and after 10.00 pm on any Saturday, Sunday or Public Holiday; or
 - (ii) before 7.00 am or after 10.00 pm on any other day;
- (b) emit a noise that exceeds 5dB(A) above the ambient background noise level measured at any property boundary.

73. Solar (photovoltaic electricity generating) energy system

Where a solar energy system is proposed it must satisfy the following requirements:

- the system is installed in accordance with the manufacturer's specifications or by a person who is accredited by the Clean Energy Council for the installation of photovoltaic electricity generating systems, and
- the solar energy system must not reduce the structural integrity of any building to which the system is attached, and
- the system must not involve mirrors or lenses to reflect or concentrate sunlight, and
- the system must not protrude more than 0.5m from the wall or roof (as measured from the point of attachment), and
- the system is installed no less than 0.9m from any adjoining property boundary.

Where a solar energy system is proposed it must demonstrate compliance with the above requirements at Crown Certification stage.

74. Updated BASIX Certificate

An updated BASIX Certificate prepared by an appropriately qualified person is to be provided at construction documentation stage detailing the inclusion of air conditioning and solar (photovoltaic energy generating) energy system.

Requirements Resulting from Council Comments

- 75.** Prior to construction works commencing, LAHC must test the existing water and sewer infrastructure to establish that the infrastructure has adequate capacity to service the development. Should upgrades to these services be required, LAHC must consult with Council on the design and construction methods.
- 76.** The existing easement for sewer which benefits 195 Dibbs Street (Lot 20 DP 20770) must be extinguished upon the consolidation of 195 Dibbs Street and 197 Dibbs Street. A minimum clearance of 1.5m must be achieved for any new fencing and new or existing sewer pipelines at the site.
- 77.** Following demolition but, prior to the commencement of any construction works a site clearance certificate is to be issued by a suitably qualified occupational hygienist confirming that the land is suitable for residential development.

ADVISORY NOTES

- i. Approval of this development activity does not imply or infer compliance with Section 23 of the *Disability Discrimination Act 1992*. Refer to AS 1428.1 and the National Construction Code for detailed guidance.

- ii. Information regarding the location of underground services may be obtained from Dial Before You Dig at www.1100.com.au or by dialing 1100.

DECISION STATEMENT

SITE IDENTIFICATION

STREET ADDRESS

Unit/Street No.

195 & 197

Street or property name

Dibbs Street

Suburb, town or locality

East Lismore

Postcode

2480

Local Government Area(s)

Lismore

Real property description (Lot and DP)

Lot 20 in DP 20770 and Lot 1 in DP 12149

ACTIVITY DESCRIPTION

Provide a description of the activity

Demolition of 2 dwellings and construction of a multi-dwelling housing development comprised of 6 dwellings, (4 x 2 bedroom and 2 x 3 bedroom units), parking for 7 vehicles, associated site works, landscaping, tree removal, road widening works along Dibbs Street and consolidation of 2 lots into a single lot.

The Land & Housing Corporation (LAHC) has proposed the above activity under the provisions of *State Environmental Planning Policy (Housing) 2021* (Housing SEPP) which requires determination under Part 5 of the *Environmental Planning & Assessment Act 1979* (EP&A Act). This Decision Statement relates to the Review of Environmental Factors (REF) for the above activity prepared under Part 5 of the EP&A Act and the *Environmental Planning and Assessment Regulation 2021*.

Based on the REF document and supporting documentation, including advice from Lismore City Council a decision to proceed with the proposed activity has been made. This decision included consideration of the following:

Significant Impact on the Environment

- The proposed activity is not likely to have a significant impact on the environment and therefore an EIS is not required.
- The proposed activity will not be carried out in a declared area of outstanding biodiversity value and is not likely to significantly affect threatened species, populations or ecological communities, or their habitats or impact biodiversity values, meaning a SIS and/or BDAR is not required.

Reasons for the Decision

- Following an assessment of the proposed activity and associated environmental impacts within the REF document it was decided that the proposed development will have economic and social benefits and any minor short-term impacts on the environment or surrounding properties can be appropriately mitigated.

- The proposed development will assist in the provision of much needed social and affordable housing and assist in addressing the existing and growing demand for housing in the local government area.

Mitigation Measures

- Mitigation measures are required to minimise or manage environmental impacts and are detailed throughout the REF and specifically within Section 8. All mitigation measures are detailed as Identified Requirements within the Activity Determination. Additional mitigation measures, detailed in the Activity Determination have been imposed to minimise the impact on the surrounding environment, ensure appropriate site safety and to ensure legislative compliance.


Signed.....

06.06.24
Dated.....

Yolanda Gil
Acting Executive Director, Portfolio Strategy and Origination
Housing Portfolio
Homes NSW

LAND AND HOUSING CORPORATION

LAHC EAST LISMORE

MULTI-DWELLING HOUSING

195 - 197 DIBBS ST EAST LISMORE NSW 2480

JOB NO.BGYE

LOT 20 DP 20770; LOT 1 DP 121490

DRAWING LIST	
DWG	DRAWING NAME
0101	COVERSHEET
0201	SITE & BLOCK ANALYSIS
0202	DEMOLITION PLAN
0203	SITE PLAN
0204	SHADOW DIAGRAMS
0301	FLOOR PLAN - GROUND
0302	FLOOR PLAN - LEVEL 1
0303	ROOF PLAN
0401	ELEVATIONS - SHEET 1
0402	ELEVATIONS - SHEET 2
0501	SECTIONS - SHEET 1

ABBREVIATIONS LEGEND.	
AC	AIR CONDITIONING
AW1	AWNING - TYPE 1
AW2	AWNING - TYPE 2
BW1	BRICK WALL - TYPE 1
CL1	CLOTHES LINE - TYPE 1
CON1	CONCRETE - TYPE 1
CPT1	CARPET - TYPE 1
CPT2	CARPET - TYPE 2
DP1	DOWNPIPE - TYPE 1
DP5	DOWNPIPE SPREADER
EG1	EAVES GUTTER - TYPE 1
F1	FENCE - TYPE 1
F2	FENCE - TYPE 2
F3	FENCE - TYPE 3
FB1	FACE BRICK - TYPE 1
FT1	FLOOR TILES - TYPE 1
FT2	FLOOR TILES - TYPE 2
G1	GATE - TYPE 1
G2	GATE - TYPE 2
HWS	HOT WATER SYSTEM
LB	LETTER BOX
LWC1	LIGHT WEIGHT CLADDING - TYPE 1
MRC	METAL ROOF CAPPING
MRS1	METAL ROOF SHEETING - TYPE 1
MRS2	METAL ROOF SHEETING - TYPE 2
PB1	PLASTERBOARD - TYPE 1
PB2	PAINTED PLASTERBOARD
PVS	PHOTOVOLTAIC SOLAR PANELS
RW	RETAINING WALL
RWT	RAIN WATER TANK
SKY	SKYLIGHT
TV	TELEVISION
WT1	WALL TILE - TYPE 1
XF	EXISTING FENCE
XPP	EXISTING POWER POLE
XRW	EXISTING RETAINING WALL

SAFETY IN DESIGN LEGEND

	HAZARD DESCRIPTION
	INDICATES AMENITIES, FACILITIES, AND FIRST AID SERVICES
	INDICATES HIGH RISK ACTIVITIES ASSOCIATED WITH LIVE ELECTRICAL HAZARDS
	INDICATES HIGH RISK ACTIVITIES ASSOCIATED WITH EARTHWORKS / EXCAVATION
	INDICATES HIGH RISK ACTIVITIES ASSOCIATED WITH FIRE AND EMERGENCIES
	INDICATES HIGH RISK ACTIVITIES ASSOCIATED WITH MANUAL TASKS AND/OR MAINTENANCE ACCESS
	INDICATES HIGH RISK ACTIVITIES ASSOCIATED WITH NOISE EXPOSURE
	INDICATES HIGH RISK ACTIVITIES ASSOCIATED WITH PLANT EQUIPMENT
	INDICATES HIGH RISK ACTIVITIES ASSOCIATED WITH THE MOVEMENT OF PEOPLE AND/OR MATERIALS
	INDICATES PROJECT SPECIFIC RISKS - OUTLINED BELOW WHERE APPLICABLE
	INDICATES HIGH RISK ACTIVITIES ASSOCIATED WITH HAZARDOUS SUBSTANCES
	INDICATES HIGH RISK ACTIVITIES ASSOCIATED WITH STRUCTURAL SAFETY AND/OR DEMOLITION WORKS
	INDICATES HIGH RISK ACTIVITIES ASSOCIATED WITH WORKING ENVIRONMENT AND/OR CONFINED SPACES
	INDICATES HIGH RISK ACTIVITIES ASSOCIATED WITH WORKING AT HEIGHTS AND/OR FALLING OBJECTS

WALL ASSEMBLIES (DIAGRAMMATICAL ONLY FOR DESIGN INTENT)

	PROPOSED WALL
	EXISTING STRUCTURE TO BE DEMOLISHED

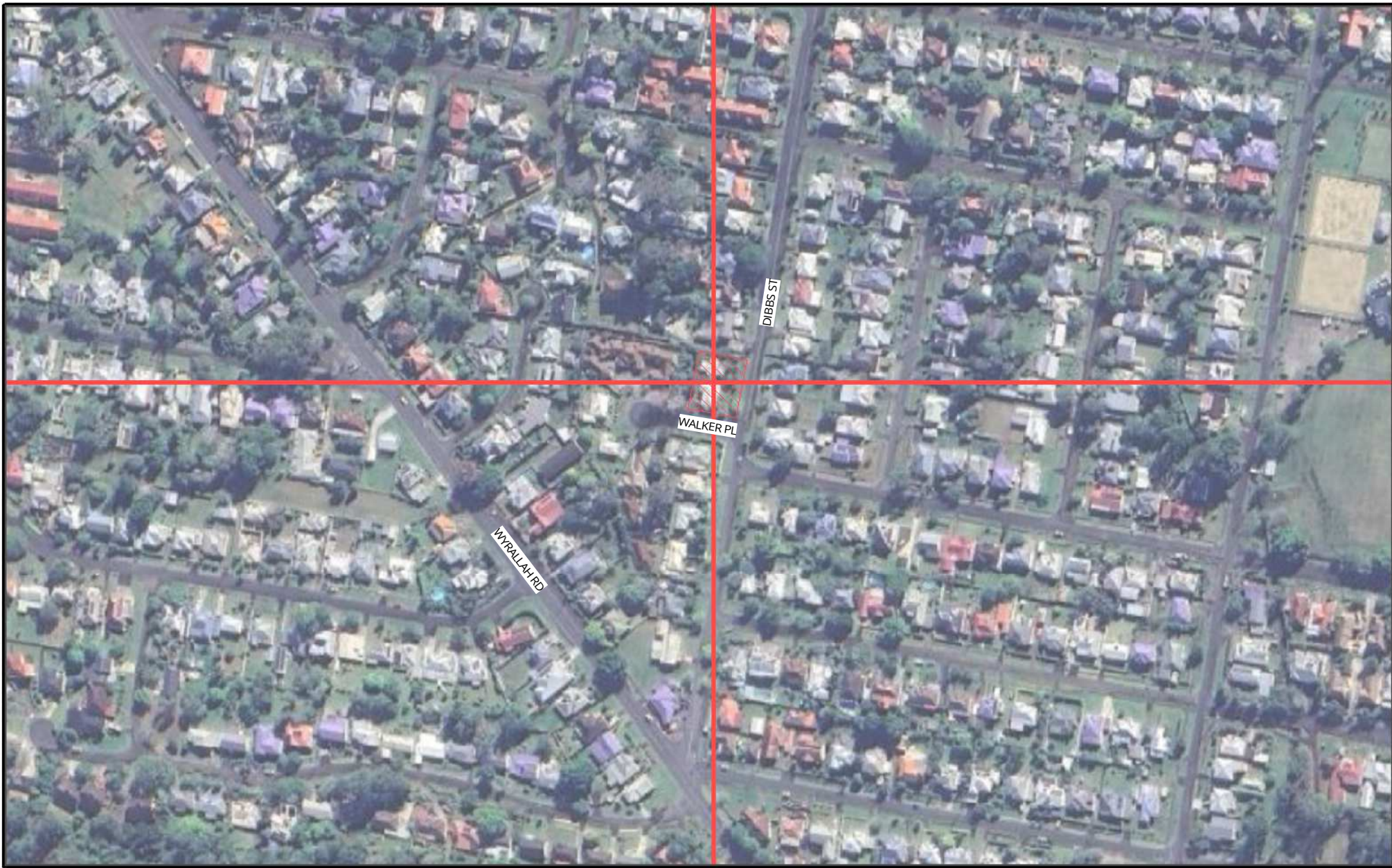
SAFETY IN DESIGN NOTES

CONTRACTORS REQUIREMENTS	
SD1	THE SAFETY RISK MITIGATION ITEMS BELOW ARE BASED ON WEBBER ARCHITECT'S DESIGN OFFICE EXPERIENCE AND DO NOT NECESSARILY ACCOUNT FOR ALL CONSTRUCTION, OPERATION, MAINTENANCE AND DEMOLITION SAFETY RISKS BASED ON INFORMATION AVAILABLE WHEN THIS DRAWING WAS MADE, IN ITS CAPACITY AS DESIGNER ONLY. WEBBER ARCHITECTS HAS ATTEMPTED TO IDENTIFY SAFETY RISKS PERTAINING TO CONSTRUCTION, OPERATION, MAINTENANCE AND DEMOLITION PHASES OF THE BUILDING OR ASSET. INCLUSION (OR NOT) OF ANY ITEM DOES NOT REDUCE OR LIMIT OBLIGATIONS OF THE CONSTRUCTOR, USER, MAINTAINER AND DEMOLISHER TO UNDERTAKE APPROPRIATE RISK MANAGEMENT ACTIVITIES TO REDUCE RISK AND IS NOT AN ADMISION BY WEBBER ARCHITECTS THAT INCLUSION OF ANY ITEM IS THE DESIGNERS RESPONSIBILITY.
SD2	ESTABLISH A SECURE CONSTRUCTION ZONE TO INCORPORATE THE ENTIRE WORKSITE BY MEANS OF TEMPORARY FENCING, HOARDING OR SIMILAR TO EXCLUDE ACCESS TO UNAUTHORISED PERSONS. MAINTAIN A CONTROLLED ENTRY & SITE INDUCTION PROCESS FOR VEHICLES AND CONTRACTORS.
SD3	ESTABLISH A SITE SHED OR OFFICE WITHIN THE CONSTRUCTION ZONE. LOCATE NEAR CONTRACTOR AMENITIES, ACCESS TO COMMUNICATIONS, FIRST AID, POTABLE WATER SUPPLY & TEMPORARY FIRE FIGHTING EQUIPMENT. DETERMINE EMERGENCY EVACUATION POINTS, ACCESS FOR EMERGENCY SERVICES & CONGREGATION AREAS. INFORM ALL PERSONS DURING THE SITE INDUCTION PROCESS. DISPLAY AFTER HOURS EMERGENCY CONTACT DETAILS IN A PROMINENT POSITION ON THE SITE.
SD4	OBTAIN ALL AVAILABLE INFORMATION OF THE EXISTING SITE OR BUILDING STRUCTURE PRIOR TO COMMENCEMENT ON SITE, INCLUDING HAZMAT REPORT, GEOTECHNICAL INVESTIGATION, DAL, BEFORE YOU DIG INFORMATION, BUILDING CONDITION REPORT OR THE LIKE. DETERMINE LOCATION OF HAZARDOUS & HAZARDOUS MATERIALS OR AREAS BY MEANS OF SUPPLIED INFORMATION AND DEMARCAE.
SD5	PRIOR TO UNDERTAKING THE FOLLOWING, NOTIFY ALL AFFECTED PARTIES, CONSULTANTS, CONTRACTORS, NEIGHBOURING PROPERTIES, BUILDING OCCUPANTS & STATUTORY AUTHORITIES OF COMMENCEMENT OF WORK, DELIVERY & HEAVY VEHICLE MOVEMENTS, SERVICE OUTAGES, DUST OR NOISE GENERATING ACTIVITIES, DEMOLITION, HAZARDOUS SUBSTANCES REMOVAL OR THE LIKE.
SD6	MAINTAIN A CLEAN AND TIDY SITE AT ALL TIMES TO REDUCE THE CHANCE OF SLIPS, TRIPS OR INJURY TO SITE OCCUPANTS. STOCKPILE MATERIALS & IMPLEMENT A DESIGNATED WASTE MANAGEMENT STRATEGY.
SD7	DETERMINE THE IMPACT OF THE WORKS ON PUBLIC ROADS, TRAFFIC OR PEDESTRIAN PATHS. IMPLEMENT MEASURES TO MITIGATE THIS IMPACT.
SD8	INSTALL TEMPORARY MEASURES OR CONSTRUCT PERMANENT BUILDING ELEMENTS THAT CONTRIBUTE TO SAFETY SUCH AS HANDRAILS AND TOE BOARDS, SCAFFOLDING, FALL ARREST SYSTEMS, FALLING OBJECT CONTROL, ACCESS STAIRS, WASTE CHUTES AND THE LIKE AS EARLY AS POSSIBLE. PROVIDE SAFETY BARRIERS AT EDGES OF OPENINGS AND ELEVATED AREAS.
SD9	REVIEW ADEQUACY OF WORKING SPACE AVAILABLE FOR CONSTRUCTION ACTIVITIES. ENSURE SEPARATION OF PLANT AND PERSONNEL ON SITE, INCLUDING MOVEMENTS OF BOTH. PROVIDE PROTECTION TO PERSONNEL FROM PLANT & EQUIPMENT IF NECESSARY.
SD10	LOCATE LIFTING SLEW AND LAYDOWN AREAS AWAY FROM REGULAR CONSTRUCTION TRAFFIC, LOAD STOCKPILES & HEAVY EQUIPMENT INCLUDING CRANES AWAY FROM BURIED SERVICES AND BUILDING BOUNDARIES. SEEK ADVICE FROM SUITABLY QUALIFIED GEOTECHNICAL OR STRUCTURAL ENGINEER PRIOR TO HEAVY SURFACE PLANT & EQUIPMENT OR STOCKPILING NEAR OPEN EXCAVATIONS OR RETAINING STRUCTURES.
SD11	ENSURE ISOLATION SAFE SYSTEMS OF WORK OR PROTECTIVE MEASURES ARE INSTALLED BEFORE WORKING NEAR LIVE ELECTRICAL OR BUILDING SERVICES INFRASTRUCTURE. PROVIDE PROTECTION OF EXISTING & NEW ELECTRICAL SYSTEMS DURING CONSTRUCTION.
SD12	OBTAIN PERMITS, GROUND SERVICES SEARCH, GEOTECHNICAL EXCAVATION & STRUCTURAL, OR CIVIL ENGINEER'S RECOMMENDATION PRIOR TO EXCAVATION GRATER THAN 1 METRE DEPTH OR ADJACENT EXISTING OR PROPOSED BUILDINGS, FOUNDATIONS, RETAINING WALLS OR STRUCTURES. MITIGATE RISK OF COLLAPSE DUE TO GROUND OR SURFACE WATER, OR UNSUITABLE SOIL CONDITIONS. WRITTEN RISK ASSESSMENTS AREA ADVISED FOR ACCESS TO OPEN EXCAVATIONS. PROVIDE ACCESS & EGRESS TO EXCAVATIONS APPROPRIATE IN CASE OF INUNDATION, COLLAPSE OR ENGULFMENT.
SD13	SEEK ADVICE FROM SUITABLY QUALIFIED STRUCTURAL ENGINEER IF PLANNING CRANE LIFTS OR HOST INSTALLATION ON PARTIALLY ERECTED OR SUSPENDED STRUCTURES.
SD14	SEEK ADVICE FROM SUITABLY QUALIFIED STRUCTURAL ENGINEER BEFORE CORING, CHASING, CUTTING OR REMOVAL OF EXISTING OR NEW CONCRETE & REINFORCEMENT. INSTRUCT SERVICES CONTRACTORS UNDER NO CIRCUMSTANCES CAN STRUCTURAL MEMBERS BE CUT OR DRILLED TO ACCOMMODATE NEW SERVICES WITHOUT PRIOR WRITTEN APPROVAL FROM A SUITABLY QUALIFIED STRUCTURAL ENGINEER.
SD15	ESTABLISH LOCATIONS OF LIVE EMBEDMENT BEFORE CUTTING THROUGH SLABS, WALLS ETC.
SD16	DEVELOP STRUCTURAL STEELWORK, SUSPENDED CONCRETE, ROOF AND ELEVATED FRAME INSTALLATION SAFE WORK METHOD STATEMENT TO ELIMINATE & MINIMISE INSTALLATION RISKS PRIOR TO COMMENCEMENT AND HAVE A SUITABLY QUALIFIED ENGINEER REVIEW PRIOR TO ERECTION.
SD17	MINIMISE SITE BASED TREATMENTS (EG. WELDING, CUTTING, SPRAY PAINTING, GRIT BLASTING, HAZARDOUS MATERIALS AND CHEMICAL STORAGE). ENSURE ADEQUATE PROTECTION, SCREENING AND VENTILATION TO MINIMISE RISK TO PERSONNEL IF SITE TREATMENT IS UNAVOIDABLE.
SD18	AVOID WORKING IN CONFINED SPACES. IF CONFINED SPACES WORK CAN'T BE AVOIDED, PROVIDE A SAFE WORK METHOD STATEMENT ADDRESSING MITIGATION OF RISKS. PROVIDE ADEQUATE SIGNAGE TO TEMPORARY AND PERMANENT CONFINED SPACES TO AS 2865.
SD19	AVOID HOT WORKS ON SITE PARTICULARLY IN TIMBER FRAMED STRUCTURES. HOT WORKS TO COMPLY WITH REQUIRED PROCEDURES OR APPLICABLE HOT WORKS' PERMITS.
SD20	FACILITATE REGULAR SITE OCCUPATIONAL HEALTH & SAFETY INSPECTIONS BY THE CLIENT OR CLIENT'S REPRESENTATIVE TO MEET THE REQUIREMENTS OF THE CONTRACT AND CURRENT LEGISLATION. MAINTAIN A HARD COPY OF SITE OH&S RECORDS AND POLICIES ON SITE AT ALL TIMES.
SD21	OBTAIN A COPY OF THE FOLLOWING PROJECT SPECIFIC INFORMATION FROM THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK AND DISTRIBUTE TO RELEVANT PARTIES: - DAL, BEFORE YOU DIG - BUILDING CONDITION REPORT - SITE SURVEY - DESIGNER'S SAFETY AND RISK ASSESSMENT REPORT

DMN Assessor #16/1742	30 th November 2023	Reference: 437/2023
Evergreen Energy Consultants		
Email address: enquiries@evergreeneec.com.au	Ph: 1300 584 010	
Important Note for Development Applicants:		
<i>The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If they vary from drawings or other specifications this Specification shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the whole project. If alternate specifications are detailed, the location and extent of the alternate specification must be detailed below and / or clearly indicated on referenced documentation.</i>		
<i>Once the development is approved by the consent authority, these specifications will become a condition of consent and must be included in the built works. If you do not want to include these requirements, the proposed construction varies to those detailed or need further information, please contact Evergreen Energy Consultants.</i>		
<i>This assessment has assumed that the BCA provisions for building sealing will be complied with at construction.</i>		

Thermal Performance Specifications					
External Wall Construction		Insulation	Colour (Solar Absorbance)		Detail
Fibro Cavity Panel Direct Fix		Anti-glare foil with bulk no gap R2.5	Light		
Brick Veneer		Anti-glare foil with bulk no gap R2.5	Medium		
Internal Wall Construction		Insulation	Detail		
Cavity wall, direct fix plasterboard, single gap		None			
Party Walls – Brick		None			
Ceiling Construction		Insulation	Detail		
Plasterboard with Timber		Bulk insulation R3.0	External ceilings		
Timber above Plasterboard		None	Internal ceilings		
Roof Construction		Insulation	Colour (Solar Absorbance)	Detail	
Colorbond		Bulk, reflective side down, no air gap above R1.3	Surfmist – 0.32	3°, 20° & 25° pitch	
Floor Construction		Insulation	Covering		
Concrete Slab on Ground		None	Carpet and Tiles		
Suspended Timber		Bulk insulation in contact with floor R1.0	Carpet and Tiles		
Windows	Glass and frame type	U Value	SHGC	Area m2	
GJA-001-10 A Aluminium framed					
50Clr Awning Windows Single Glazed		6.21	0.61		
GJA-011-12 A Aluminium framed					
60Clr Fixed Windows Single Glazed		5.90	0.77		
GJA-013-16 A Aluminium framed					
60Clr Sliding Windows Single Glazed		6.30	0.73		
GJA-070-16 A Aluminium framed					
60Clr Sliding Doors Single Glazed		6.21	0.70		
Tubular Skylights – Single Glazed Clear					
U and SHGC values are according to NFRC. Alternate products may be used if the U value is lower and the SHGC is less than 5% higher or lower than the above figures.					
Fixed shading – Eaves		Width includes guttering, offset is distance above windows			
As drawn		Nominal only, refer to plan for detail			
Fixed shading – Other		Verandah to certain units only			
Shaded areas and shade devices as drawn, adjoining buildings and boundary fences					
For construction in NSW the BCA Vol 1 or 2 must be complied with, in particular the following:					
- Thermal construction in accordance with Vol 1 Section J1.2 or Vol 2 Part 3.12.1.1					
- Thermal breaks in accordance with Section J1.3(d) & 1.5(c) or Part 3.12.1.2(c) & 3.12.1.4(b)					
- Compensating for loss of ceiling insulation in accordance with Section J1.3(c) or Part 3.12.1.2(e)					
- Floor insulation in accordance with Section J1.6(c) & (d) or Part 3.12.1.5(a)(iii) or (c) & (d)					
- Building sealing in accordance with Section J3 or Part 3.12.3.1 to 3.12.3.6.					

195-197 Dibbs Street, East Lismore				
SUMMARY OF BASIX COMMITMENTS				
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details.				
WATER COMMITMENTS				
Fixtures				
Alternative Water – Central Water Tank 9,000L Connected To:				
All Toilets	One Outdoor Tap	Laundry W/M Cold Tap		
Fixtures				
3 Star Shower Heads	4 Star Toilet	4 Star Kitchen Taps	4 Star Basin Taps	
THERMAL COMFORT COMMITMENTS – Refer to TPA Specification on plans				
ENERGY COMMITMENTS				
Hot Water	Electric heat pump – 15 to 20 STCs or better			
Cooling System	Living	None		
	Bedrooms	None		
Heating System	Living	None		
	Bedrooms	None		
Ventilation	Bathrooms	Fan ducted to roof/facade	Manual on/off	
	Kitchen	Fan ducted to roof/facade	Manual on/off	
	Laundry	Fan ducted to roof/facade	Manual on/off	
Natural Lighting	Window/Skylight in Kitchen	As Drawn		
	Window/Skylight in Bathrooms/Toilets	As Drawn		
Artificial Lighting (Primarily lit by fluoro or LED)	Number of bedrooms	All	Dedicated	Yes
	Number of Living/Dining rooms	All	Dedicated	Yes
	Kitchen	Yes	Dedicated	Yes
	All Bathrooms/Toilets	Yes	Dedicated	Yes
	Laundry	Yes	Dedicated	Yes
	All Hallways	Yes	Dedicated	Yes
OTHER COMMITMENTS				
Outdoor clothes line	Yes	Indoor or sheltered clothes drying line		No
Stove/Oven	Electric cooktop, electric oven			
Other				



LOCATION PLAN
195 - 197 DIBBS ST, EAST LISMORE NSW 2480

NOT TO SCALE

MATERIAL FINISHES SCHEDULE

ABB.	ITEM	MATERIAL	FINISH	IMAGE
MRS1	ROOFING	METAL SHEETING	COLORBOND SURFMIST	
FB1	WALLS	FACE BRICK	PGH WHIRLWIND	
LWC1	WALLS	LIGHT WEIGHT CLADDING	HVG ZENTIL STANDING SEAM SURFMIST	
	WINDOW/DOORS	ALUMINIUM	WOODLAND GREY / SURFMIST	
AW1	SUNHOODS	ALUMINIUM	HEKAHOODS WOODLAND GREY / SURFMIST	

ABB.	ITEM	MATERIAL	FINISH	IMAGE
LB	FENCE	1200H FACE BRICK	FB1 / FB2	
F1	FENCE	FLAT PLATE STYLE FENCE (600H) WITH FACE BRICK BELOW	WOODLAND GREY	
F2	FENCE	1800 SOLID COLORBOND	WOODLAND GREY	
CON1	DRIVEWAY	CONCRETE	NATURAL GREY	
FC	FASCIA/EAVES	FIBRE CEMENT	WHITE	
EG1	GUTTERS	COLORBOND	SURFMIST	



ARCHITECT'S IMPRESSION ONLY FROM CORNER OF DIBBS STREET + WALLACE PLACE

REV	DATE	DESCRIPTION	BY	CHK
C	06.06.2024	FOR CONSULTANT COORDINATION	SL	DF
D	15.06.2023	FOR CONSULTANT COORDINATION	SL	DF
E	31.08.2023	FOR CLIENT COST ESTIMATE	LK	
F	15.09.2023	FOR DEVELOPMENT APPROVAL	LK	
G	26.09.2023	FOR DEVELOPMENT APPROVAL	LK	
H	23.10.2023	FOR DEVELOPMENT APPROVAL	SL	
I	20.11.2023	FOR DEVELOPMENT APPROVAL	LK	

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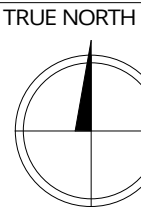
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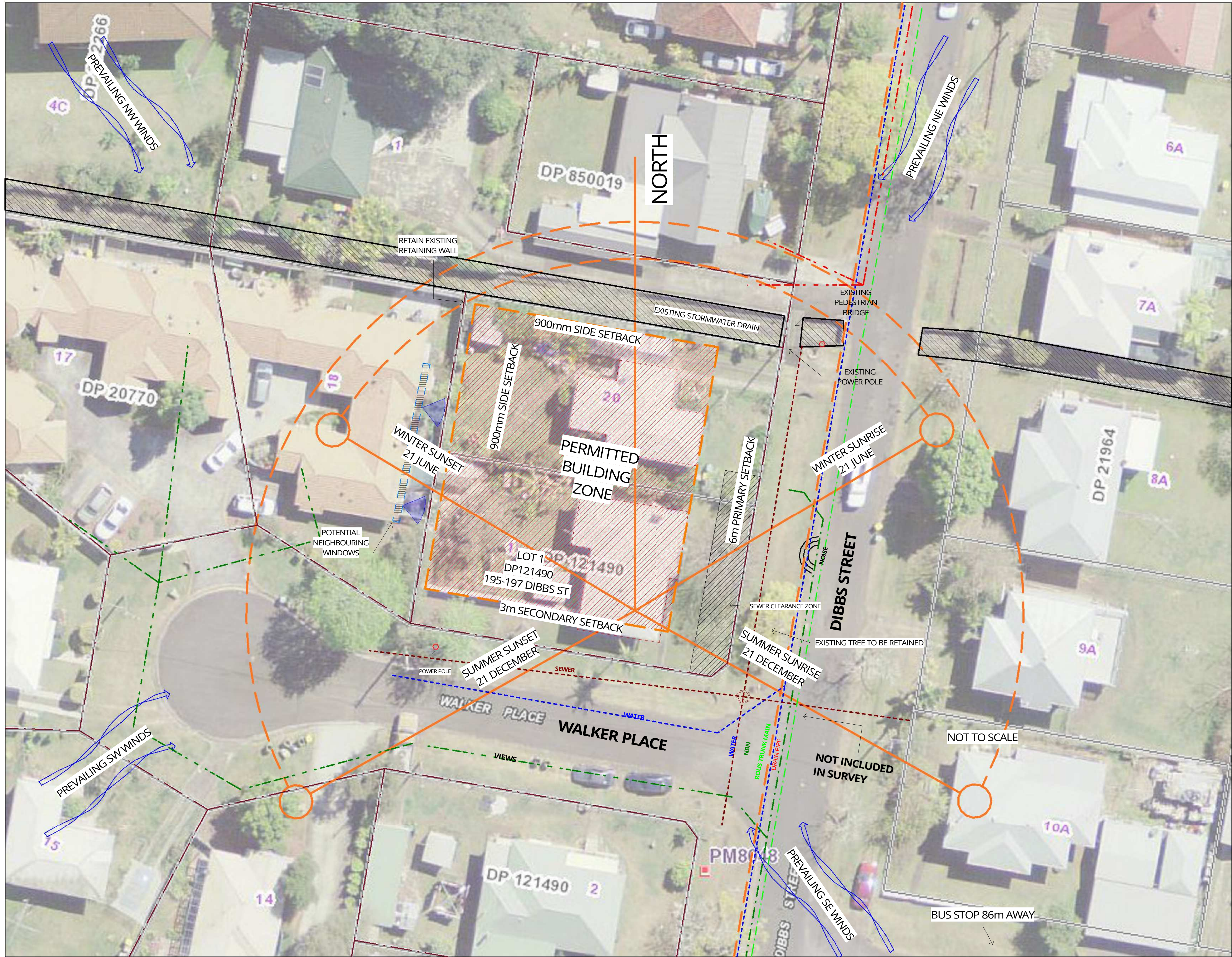
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COVERSHEET
LAND AND HOUSING CORPORATION
MULTI-DWELLING HOUSING
195 - 197 DIBBS ST EAST LISMORE NSW 2480
COMMENCEMENT DATE: 07.07.2022 SCALE

SHEET NUMBER: 2882 / 0101 / I





VIEW 1 : WEST FACING FROM DIBBS ST

VIEW 2 : NORTH FACING FROM WALKER PLACE



VIEW 3 : EAST FACING FROM DIBBS ST

VIEW 2 : SOUTH WEST FACING FROM DIBBS ST



EXISTING SITE & DWELLINGS DASHED RED. PROPOSED BUILDINGS IN GREEN.

BLOCK ANALYSIS PLAN
NOT TO SCALE

SERVICES LEGEND

	WATER AUTHORITY CLEARANCE ZONE		SEWER MANHOLE
	SEWER		HYDRANT
	WATER		STOP VALVE
	NBN		POWER POLE
	GAS		TELSTRA PIT/ NBN
	OVERHEAD POWER		
	DRAIN PIPE		
	ROUS TRUNK MAIN		

1 SITE ANALYSIS PLAN

SCALE 1:200

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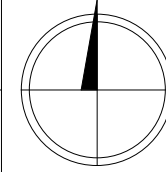
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SITE & BLOCK ANALYSIS
LAND AND HOUSING CORPORATION
MULTI-DWELLING HOUSING
195 - 197 DIBBS ST EAST LISMORE NSW 2480

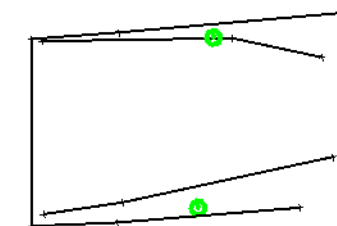
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TRUE NORTH

















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NOTE:

1. PARTIAL SURVEY INFORMATION ONLY PROVIDED FOR NEIGHBOURING STRUCTURES
2. EXISTING SERVICES TO BE CAPPED AND DISCONNECTED BEFORE DEMOLITION
3. REFER TO DETAILED SURVEY BY RPS AUSTRALIA EAST PTY LTD DATED 08.06.2022

LEGEND

	WATER AUTHORITY CLEARANCE ZONE		SEWER MANHOLE
	SEWER		HYDRANT
	WATER		STOP VALVE
	NBN		POWER POLE
	GAS		TELSTRA PIT/ NBN
	OVERHEAD POWER		ROUS TRUNK MAIN (LOCATION UNKNOWN)
	DRAIN PIPE		
	ROUS TRUNK MAIN		

DEMO EXISTING KERB
& GUTTER TO SUIT
PROPOSED
ROADWORKS

EXISTING ROAD
PAVEMENT NO. KERB
& GUTTER TO SIZE

— EXISTING STREET
TREE TO BE RETAINED

NOTE: REFER TO ARBORIST REPORT
FOR TREE NUMBERS

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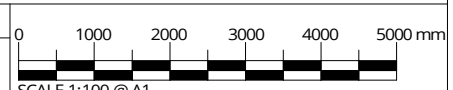
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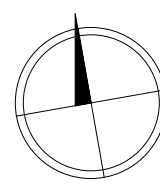
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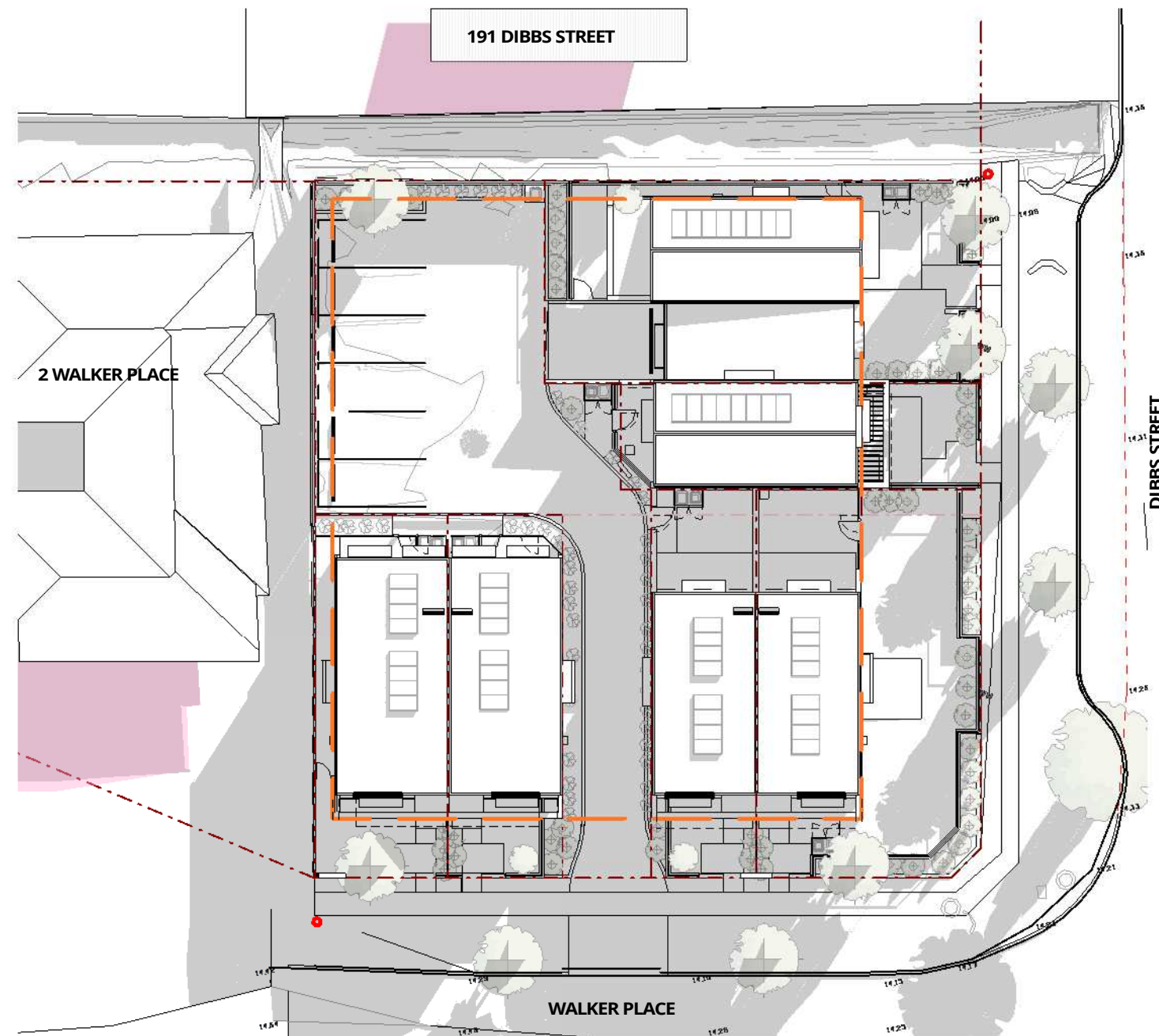
DEMOLITION PLAN
LAND AND HOUSING CORPORATION
MULTI-DWELLING HOUSING
195 - 197 DIBBS ST EAST LISMORE NSW 2480

COMMENCEMENT DATE : 07.07.2022	0	1000	2
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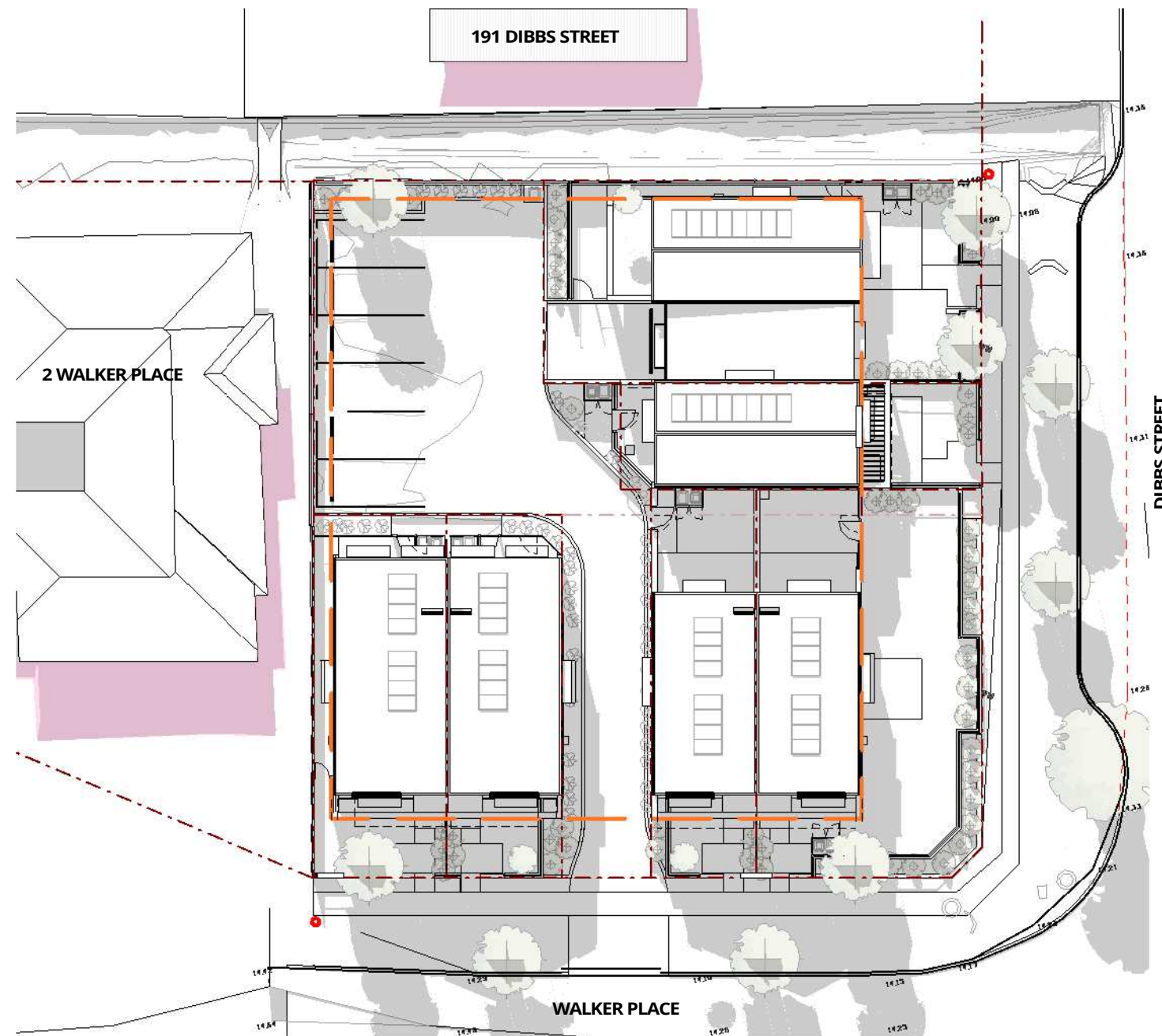


TRUE NORTH

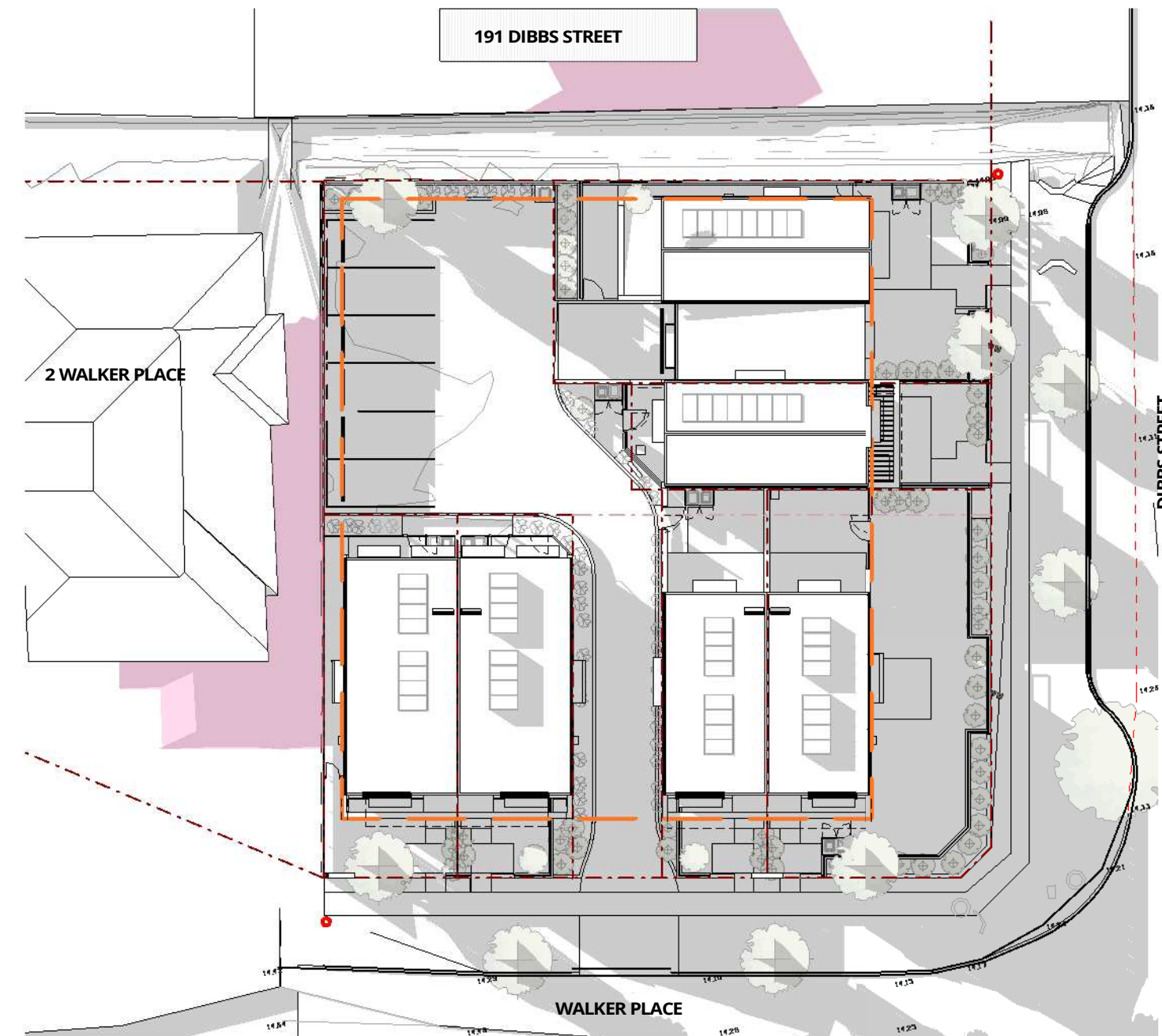




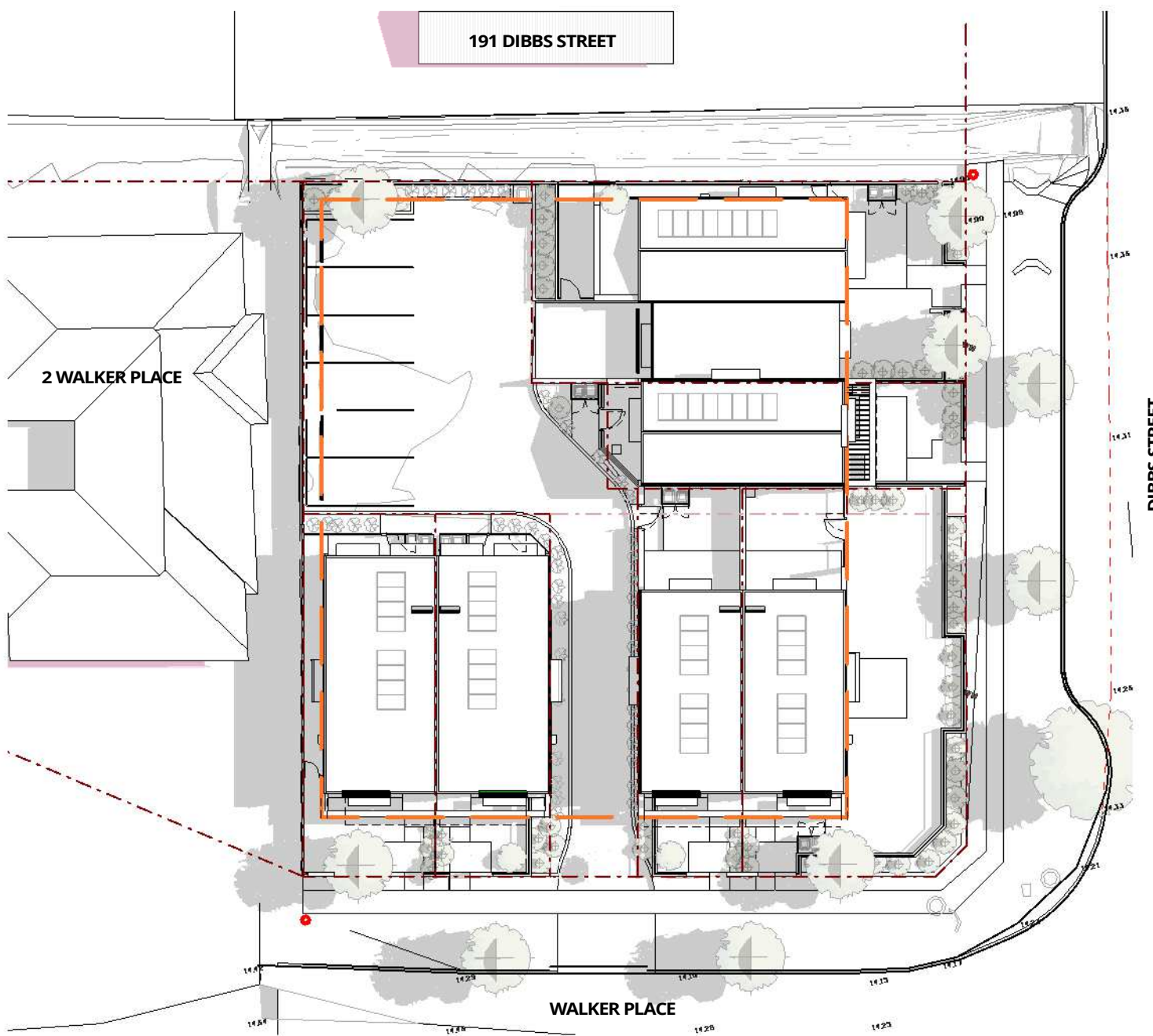
1 SHADOW DIAGRAM - JUNE 9AM
SCALE 1 : 300



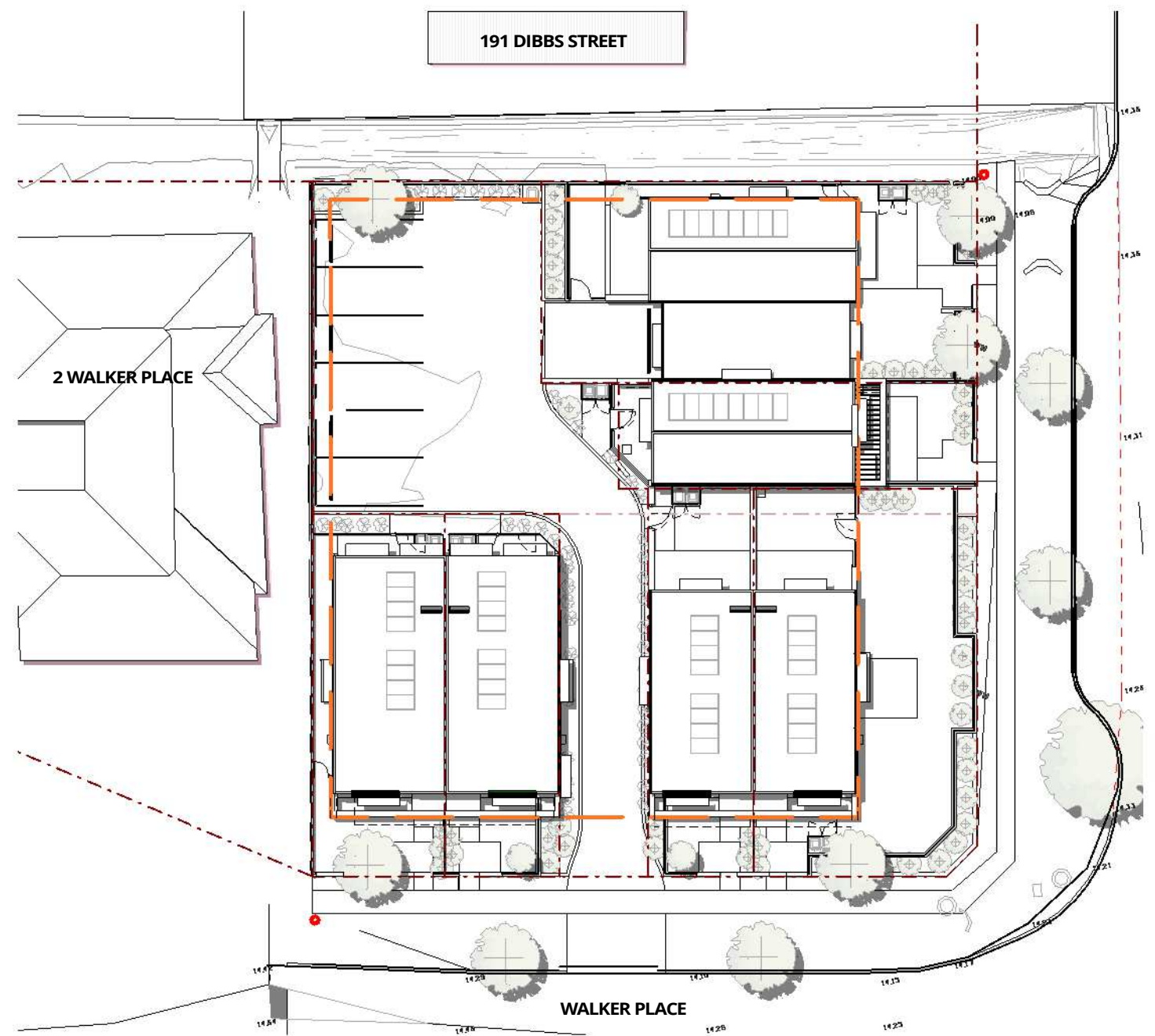
2 SHADOW DIAGRAM - JUNE 12PM
SCALE 1 : 300



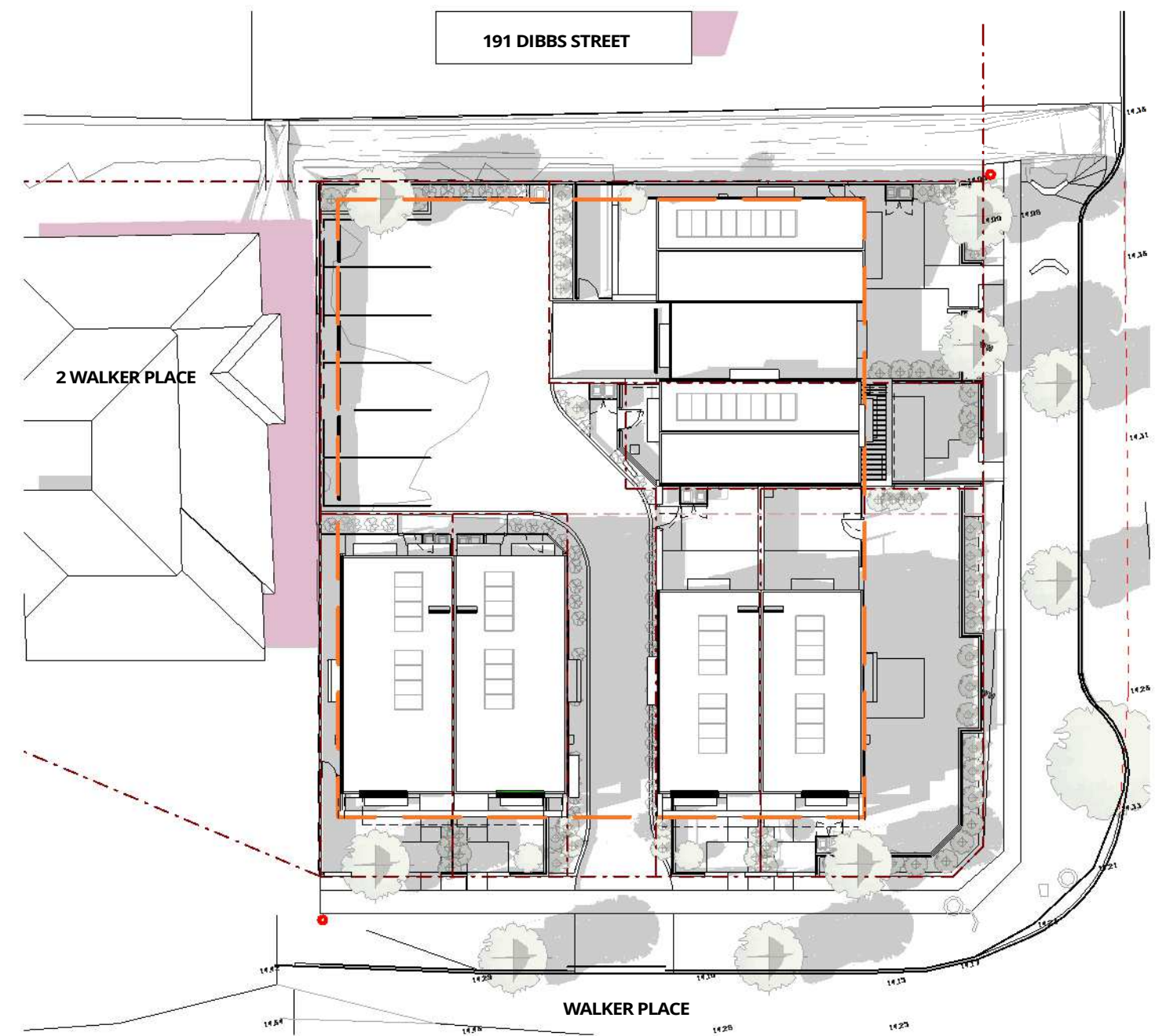
3 SHADOW DIAGRAM - JUNE 3PM
SCALE 1 : 300



6 SHADOW DIAGRAM - DEC 9AM
SCALE 1 : 300



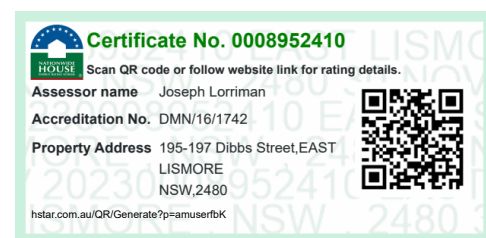
7 SHADOW DIAGRAM - DEC 12PM
SCALE 1 : 300



5 SHADOW DIAGRAM - DEC 3PM
SCALE 1 : 300

LEGEND

- GREY AREA INDICATES SHADOWS
CAST BY PROPOSED DEVELOPMENT
- PINK AREA INDICATES SHADOWS
CAST BY NEIGHBOURS



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F	15.09.2023	FOR DEVELOPMENT APPROVAL	LK	
G	26.09.2023	FOR DEVELOPMENT APPROVAL	LK	
H	23.10.2023	FOR DEVELOPMENT APPROVAL	SL	
I	20.11.2023	FOR DEVELOPMENT APPROVAL	LK	

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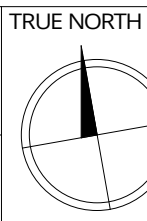
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SHADOW DIAGRAMS
LAND AND HOUSING CORPORATION
MULTI-DWELLING HOUSING
195 - 197 DIBBS ST EAST LISMORE NSW 2480
COMMENCEMENT DATE: 07.07.2022
SCALE: As indicated @ A1



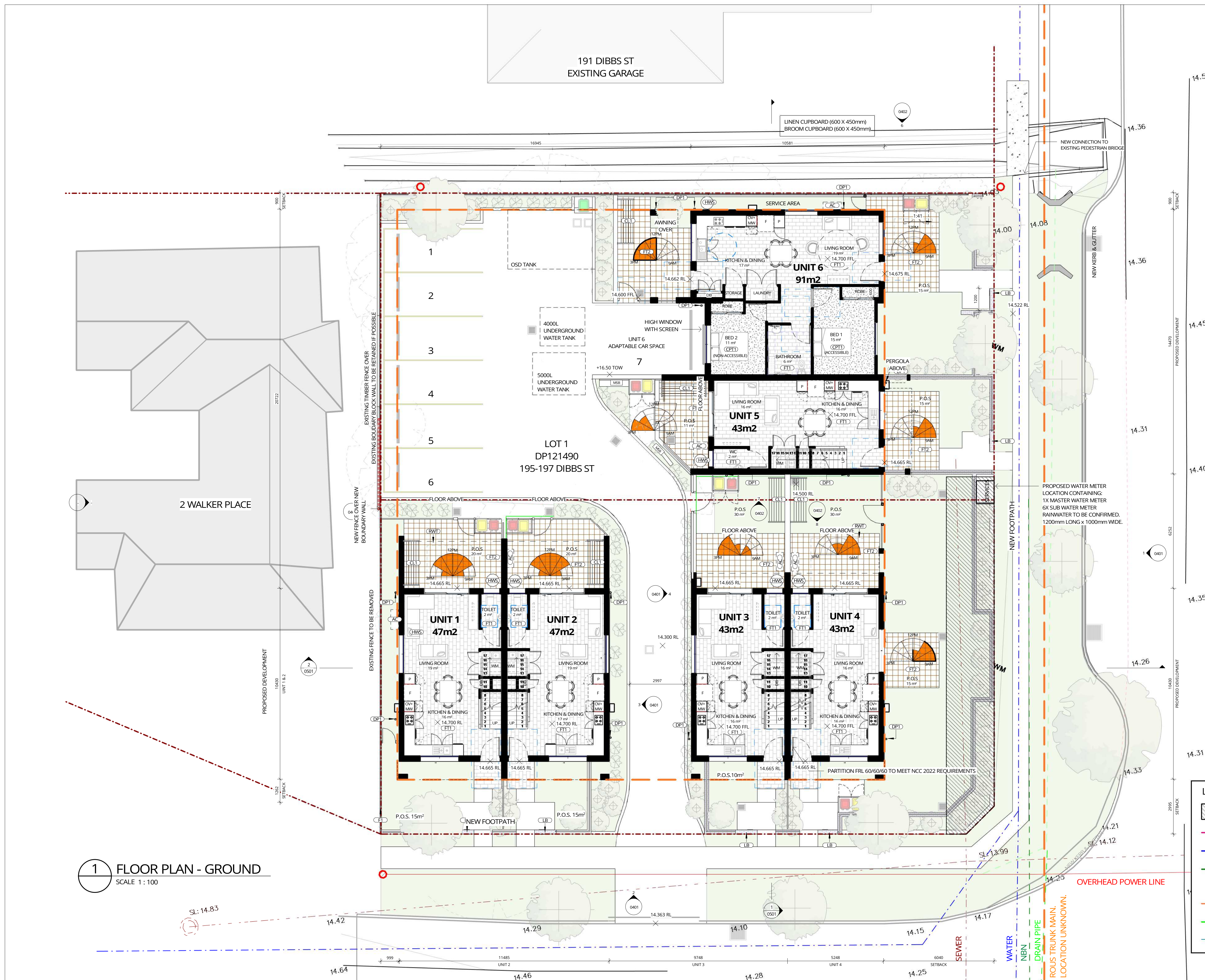
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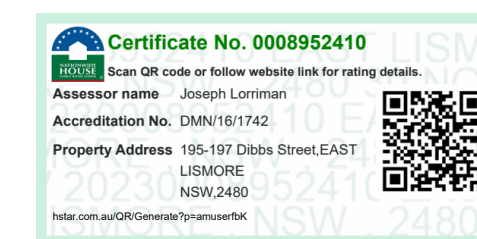
AC	AIR CONDITIONING
CL1	CLOTHES LINE - TYPE 1
CPT1	CARPET - TYPE 1
DP1	DOWNPIPE - TYPE 1
F1	FENCE - TYPE 1
FT1	FLOOR TILES - TYPE 1
FT2	FLOOR TILES - TYPE 2
HWS	HOT WATER SYSTEM
LB	LETTER BOX
RWT	RAIN WATER TANK

NOTE:

- PARTIAL SURVEY INFORMATION ONLY PROVIDED FOR NEIGHBOURING STRUCTURES
- EXISTING SERVICES TO BE CAPPED AND DISCONNECTED BEFORE DEMOLITION
- REFER TO DETAILED SURVEY BY RPS AUSTRALIA EAST PTY LTD DATED 08.06.2022
- ALL ENTRY DOORS TO INCLUDE A THRESHOLD RAMP TO MEET AS 1428.1
- REFER TO DEMOLITION PLAN FOR TREES & BUILDINGS REMOVED
- REFER TO LANDSCAPE ARCHITECTS DOCS FOR PLANTINGS DETAILS



1 FLOOR PLAN - GROUND
SCALE 1 : 100



LEGEND

	WATER AUTHORITY CLEARANCE ZONE
	SEWER
	WATER
	NBN
	GAS
	OVERHEAD POWER
	DRAIN PIPE
	ROUS TRUNK MAIN

	SEWER MANHOLE
	HYDRANT
	STOP VALVE
	POWER POLE
	TELSTRA PIT/ NBN
	ROUS TRUNK MAIN (LOCATION UNKNOWN)

REV	DATE	DESCRIPTION	BY	CHK
D	15.08.2022	FOR CONSULTANT COORDINATION	SL	
E	31.08.2022	FOR CLIENT COST ESTIMATE	LK	
F	15.09.2022	FOR DEVELOPMENT APPROVAL	LK	
G	21.09.2022	FOR BASIX	LK	
H	26.09.2022	FOR DEVELOPMENT APPROVAL	LK	
I	23.10.2022	FOR DEVELOPMENT APPROVAL	SL	
J	20.11.2022	FOR DEVELOPMENT APPROVAL	LK	

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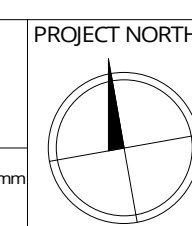
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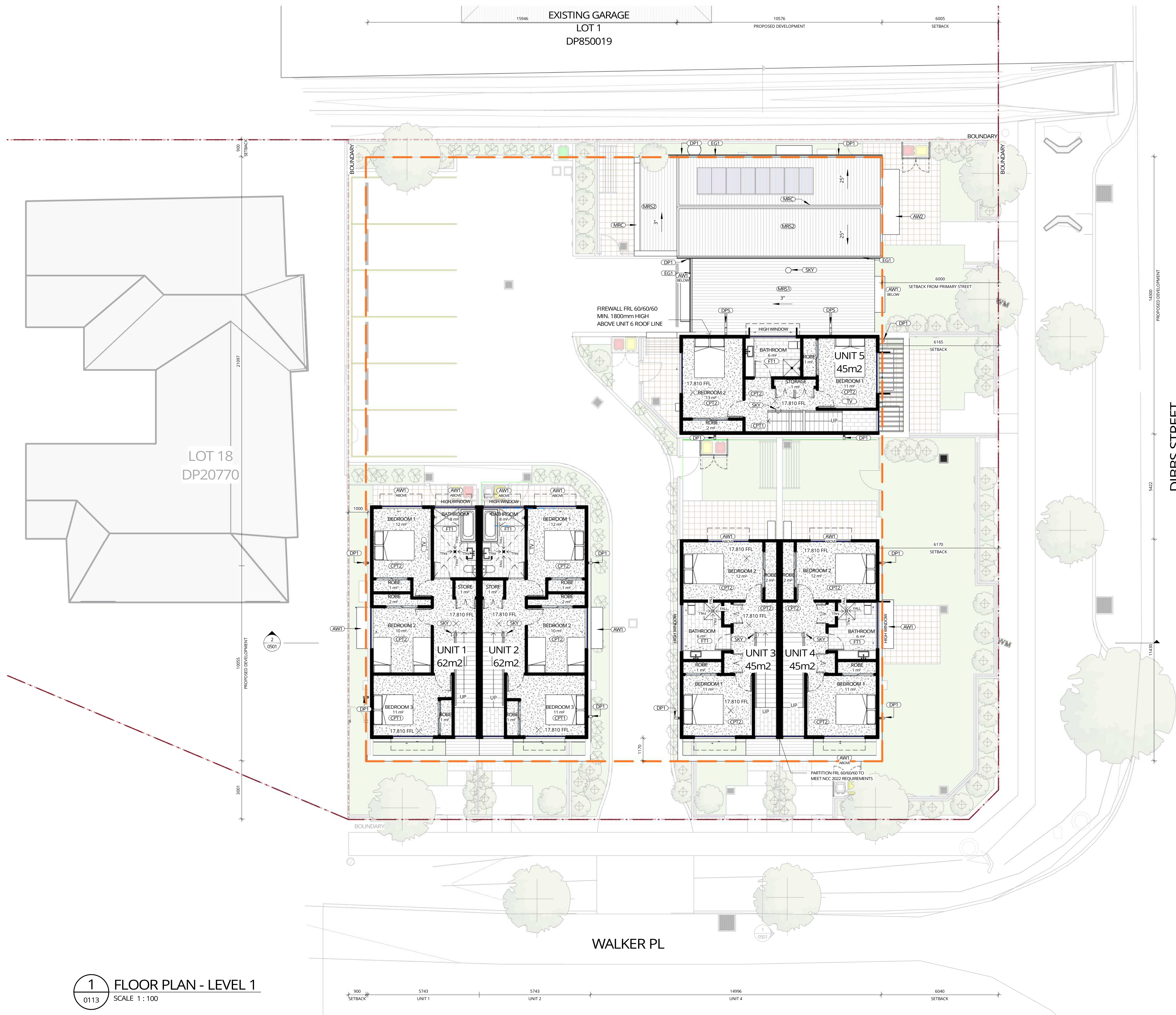
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FLOOR PLAN - GROUND
LAND AND HOUSING CORPORATION
MULTI-DWELLING HOUSING
195 - 197 DIBBS ST EAST LISMORE NSW 2480

COMMENCEMENT DATE: 07.07.2022
SCALE 1:100 @ A1



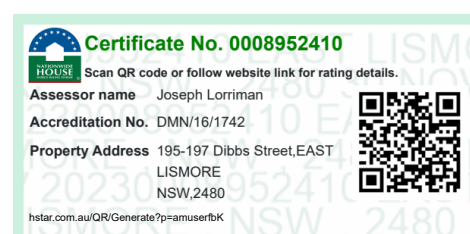


ABBREVIATIONS LEGEND

AW1	AWNING - TYPE 1
AW2	AWNING - TYPE 2
CPT1	CARPET - TYPE 1
CPT2	CARPET - TYPE 2
DP1	DOWNPIPE - TYPE 1
DPS	DOWNPIPE SPREADER
EG1	EAVES GUTTER - TYPE 1
FT1	FLOOR TILES - TYPE 1
MRC	METAL ROOF CAPPING
MRS1	METAL ROOF SHEETING - TYPE 1
MRS2	METAL ROOF SHEETING - TYPE 2
SKY	SKYLIGHT
TV	TELEVISION

NOTE:

1. PARTIAL SURVEY INFORMATION ONLY PROVIDED FOR NEIGHBOURING STRUCTURES
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3. REFER TO DETAILED SURVEY BY RPS AUSTRALIA EAST PTY LTD DATED 08.06.2022



NOTE: WINDOWS TO LEVEL 1 ARE TO HAVE 100mm OPENING TO MEET THE NCC 2022

1 FLOOR PLAN - LEVEL 1

SCALE 1 : 100

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F	15.09.2022	FOR DEVELOPMENT APPROVAL	LK	
G	21.09.2022	FOR BASIX	LK	
H	26.09.2022	FOR DEVELOPMENT APPROVAL	LK	
I	23.10.2022	FOR DEVELOPMENT APPROVAL	SL	
J	20.11.2022	FOR DEVELOPMENT APPROVAL	LK	

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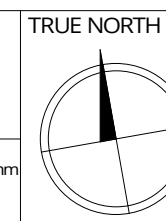
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FLOOR PLAN - LEVEL 1
LAND AND HOUSING CORPORATION
MULTI-DWELLING HOUSING
195 - 197 DIBBS ST EAST LISMORE NSW 2480
COMMENCEMENT DATE: 07.07.2022

0 1000 2000 3000 4000 5000 mm
SCALE 1:100 @ A1



ABBREVIATIONS LEGEND

AW1	AWNING - TYPE 1
DP1	DOWNPIPE - TYPE 1
DPS	DOWNPIPE SPREADER
EG1	EAVES GUTTER - TYPE 1
MRC	METAL ROOF CAPPING
MRS1	METAL ROOF SHEETING - TYPE 1
MRS2	METAL ROOF SHEETING - TYPE 2
PVS	PHOTOVOLTAIC SOLAR PANELS
SKY	SKYLIGHT

NOTE:

- PARTIAL SURVEY INFORMATION ONLY PROVIDED FOR NEIGHBOURING STRUCTURES
- EXISTING SERVICES TO BE CAPPED AND DISCONNECTED BEFORE DEMOLITION
- REFER TO DETAILED SURVEY BY RPS AUSTRALIA EAST PTY LTD DATED 08.06.2022

1 ROOF PLAN

SCALE 1 : 100

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D	15.08.2023	FOR CONSULTANT COORDINATION	SL	
E	31.08.2023	FOR CLIENT COST ESTIMATE	LK	
F	15.09.2023	FOR DEVELOPMENT APPROVAL	LK	
G	26.09.2023	FOR DEVELOPMENT APPROVAL	LK	
H	23.10.2023	FOR DEVELOPMENT APPROVAL	SL	
I	20.11.2023	FOR DEVELOPMENT APPROVAL	LK	

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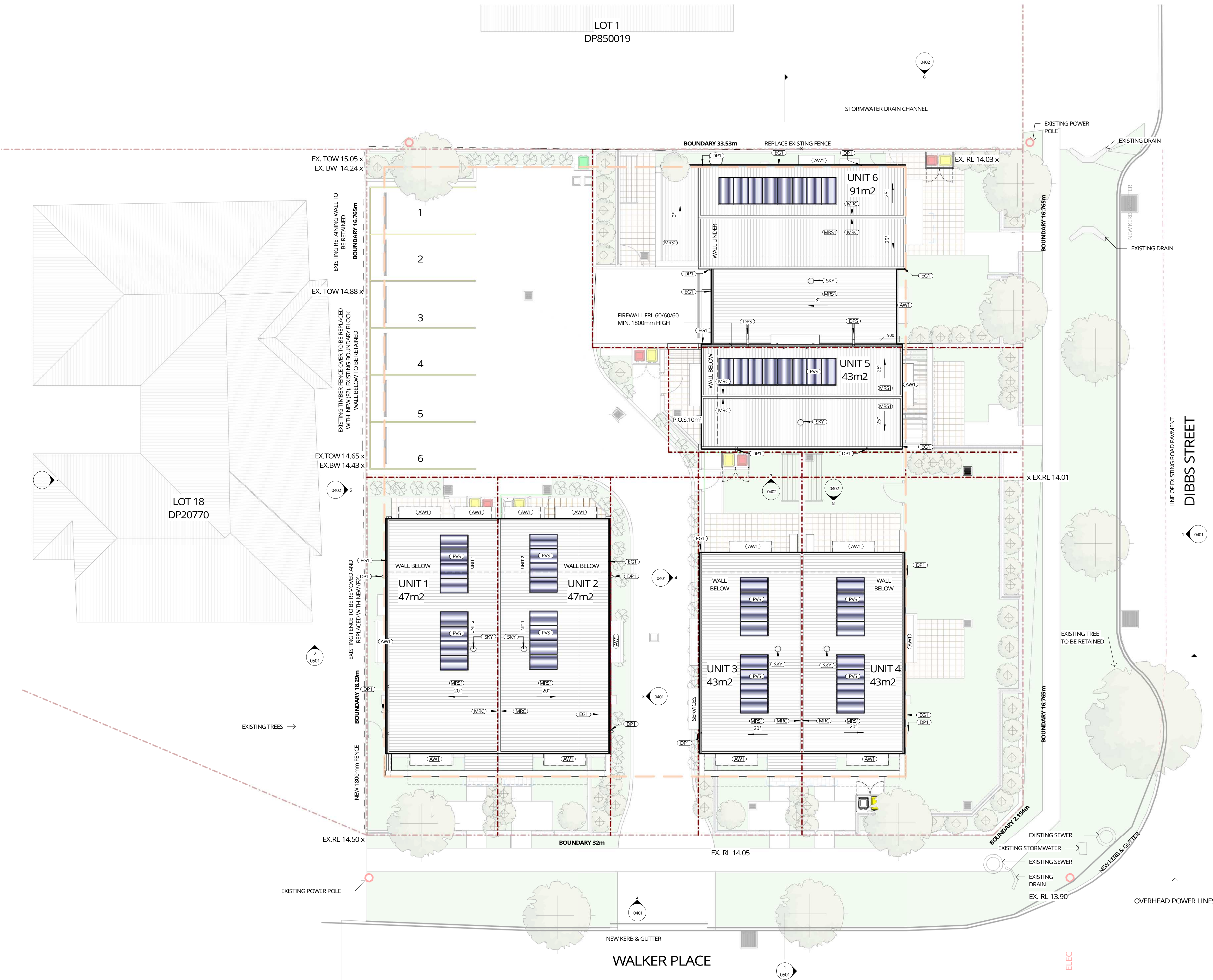
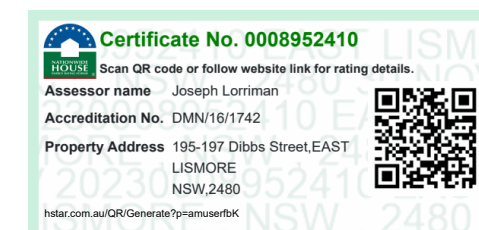
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ROOF PLAN
LAND AND HOUSING CORPORATION
MULTI-DWELLING HOUSING
195 - 197 DIBBS ST EAST LISMORE NSW 2480

COMMENCEMENT DATE: 07.07.2022

0 1000 2000 3000 4000 5000 mm
SCALE 1:100 @ A1

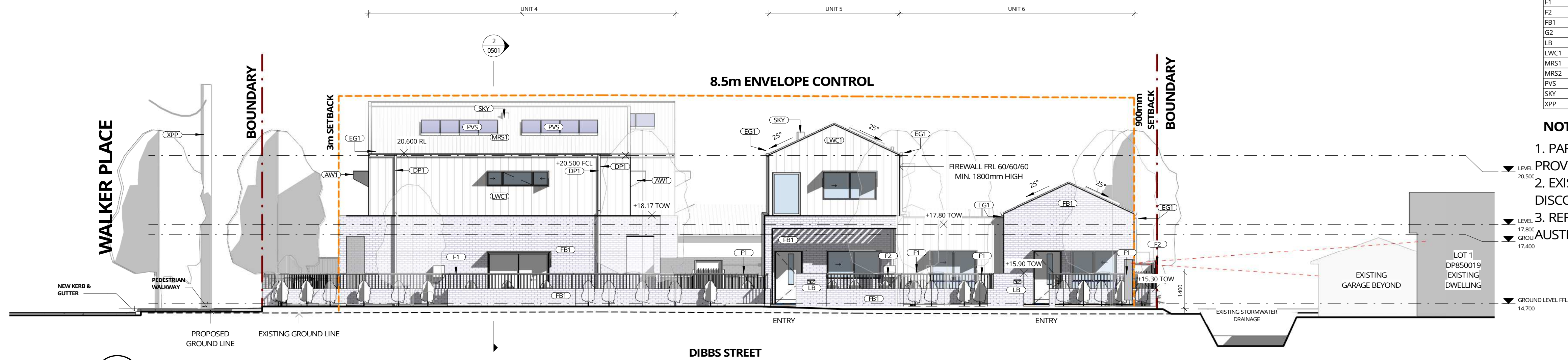


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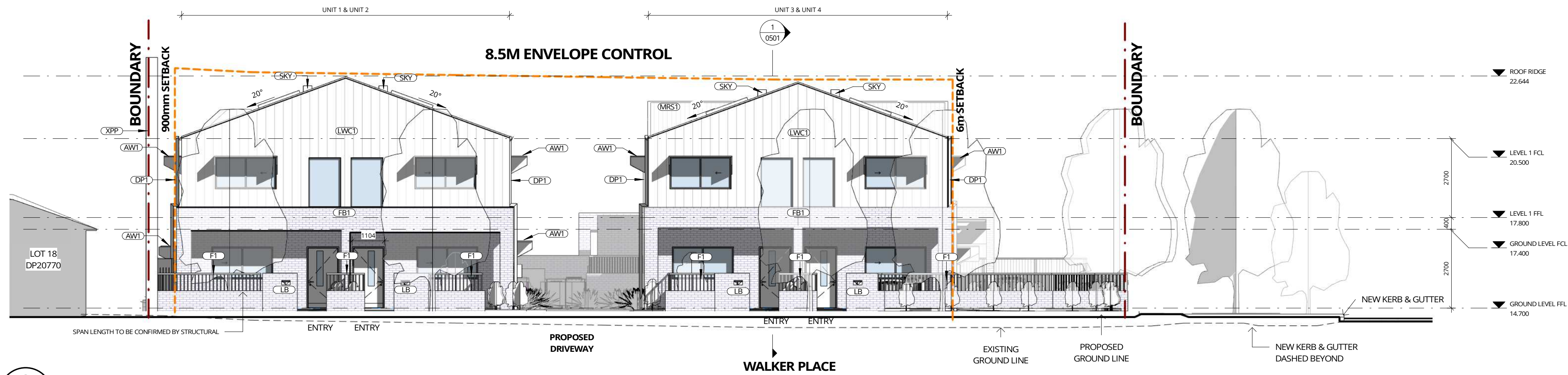
AW1	AWNING - TYPE 1
BW1	BRICK WALL - TYPE 1
DP1	DOWNPIPE - TYPE 1
EG1	EAVES GUTTER - TYPE 1
F1	FENCE - TYPE 1
F2	FENCE - TYPE 2
FB1	FACE BRICK - TYPE 1
G2	GATE - TYPE 2
LB	LETTER BOX
LWC1	LIGHT WEIGHT CLADDING - TYPE 1
MRS1	METAL ROOF SHEETING - TYPE 1
MRS2	METAL ROOF SHEETING - TYPE 2
PVS	PHOTOVOLTAIC SOLAR PANELS
SKY	SKYLIGHT
XPP	EXISTING POWER POLE

NOTE:

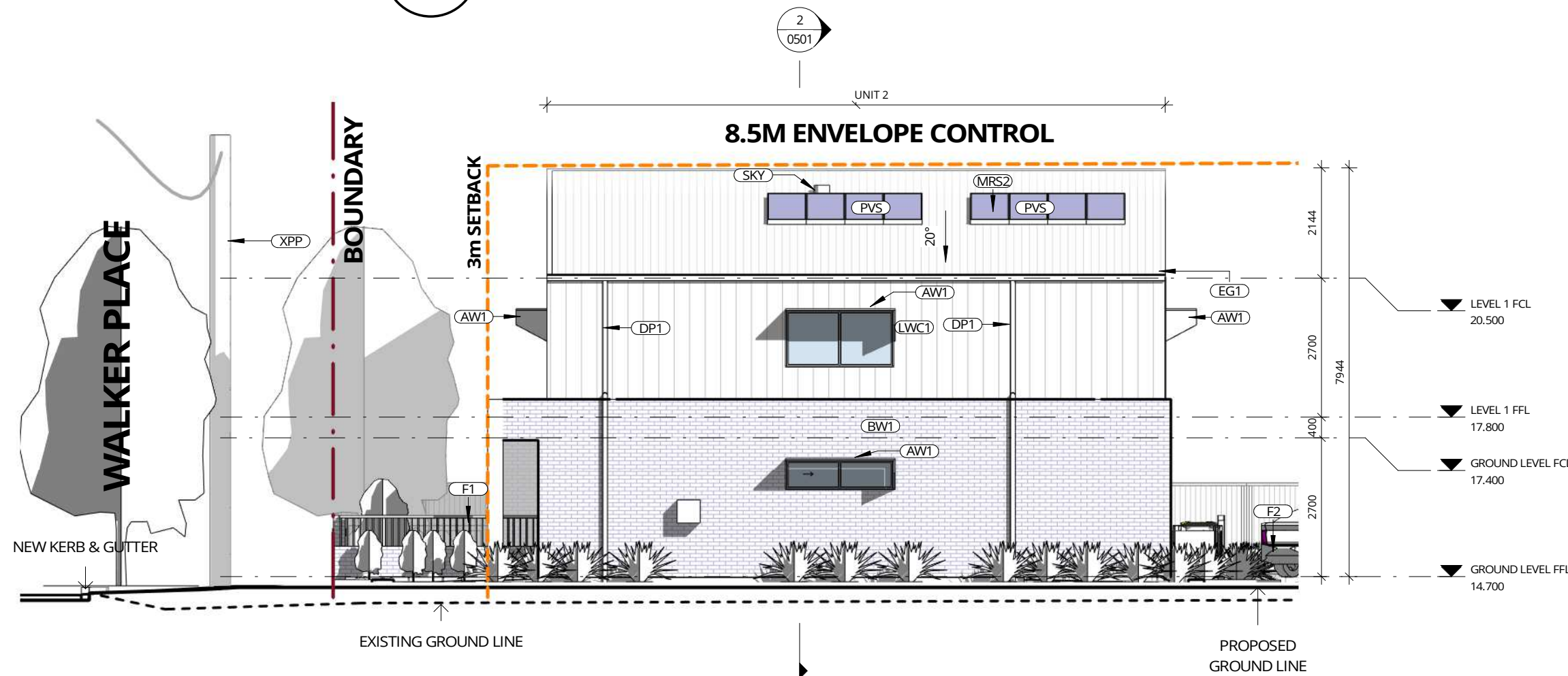
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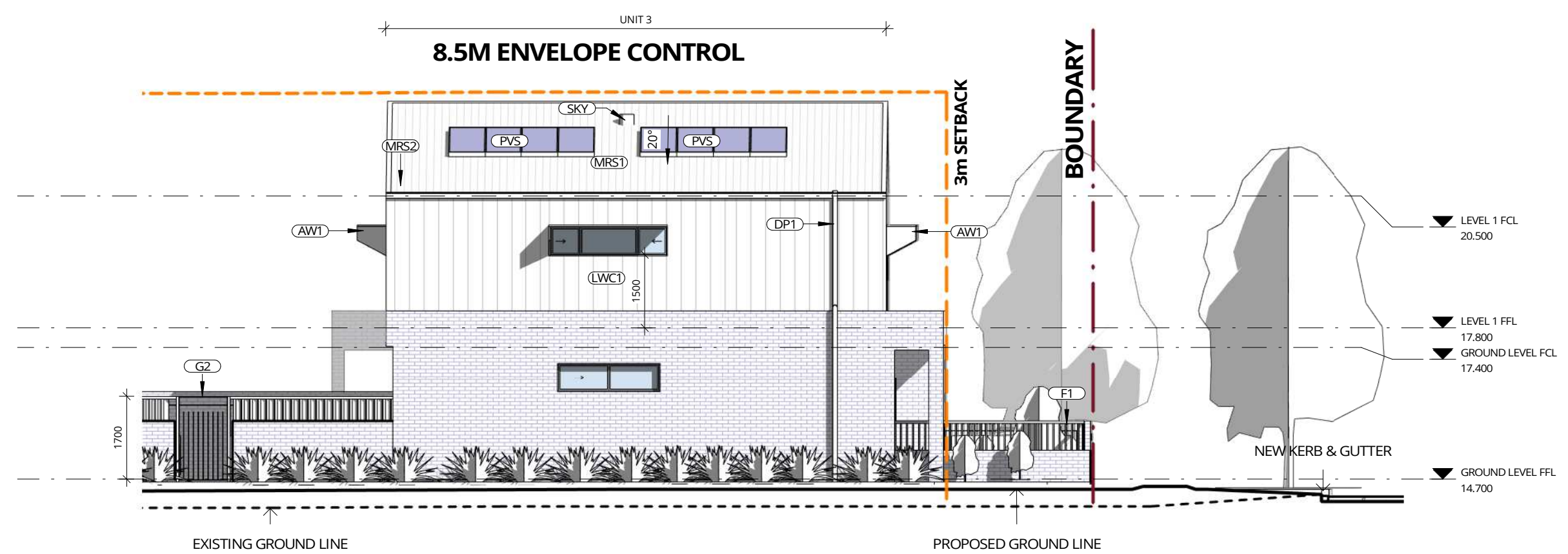
1 EAST ELEVATION 1 (DIBBS STREET)
SCALE 1 : 100



2 SOUTH ELEVATION (WALKER PLACE)
SCALE 1 : 100



3 EAST ELEVATION 2 - UNIT 2
SCALE 1 : 100



4 WEST ELEVATION 1 - UNIT 4
SCALE 1 : 100

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F	15.09.2023	FOR DEVELOPMENT APPROVAL	LK	
G	26.09.2023	FOR DEVELOPMENT APPROVAL	LK	
H	23.10.2023	FOR DEVELOPMENT APPROVAL	LK	
I	20.11.2023	FOR DEVELOPMENT APPROVAL	LK	

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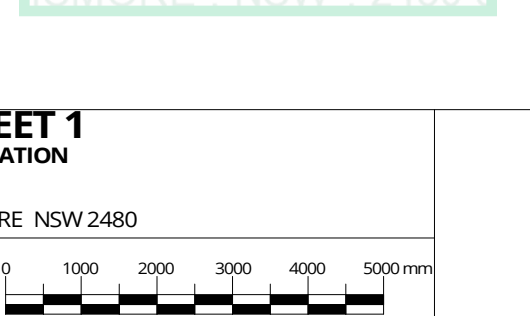
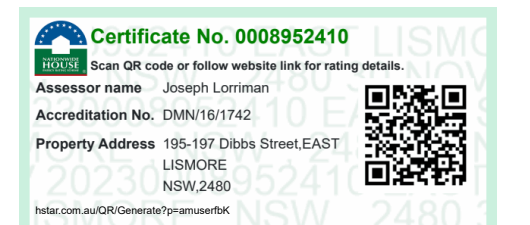
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ELEVATIONS - SHEET 1
LAND AND HOUSING CORPORATION
MULTI-DWELLING HOUSING
195 - 197 DIBBS ST EAST LISMORE NSW 2480
COMMENCEMENT DATE: 07.07.2022



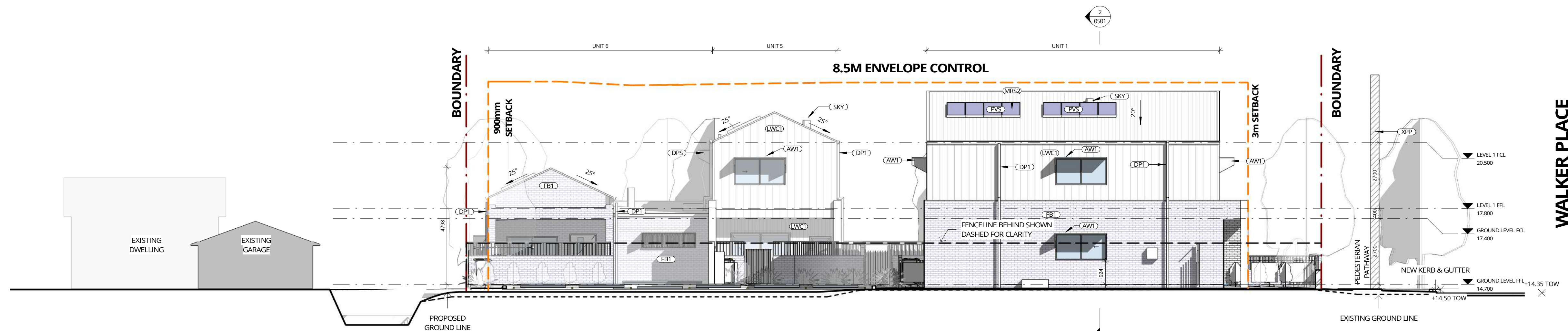
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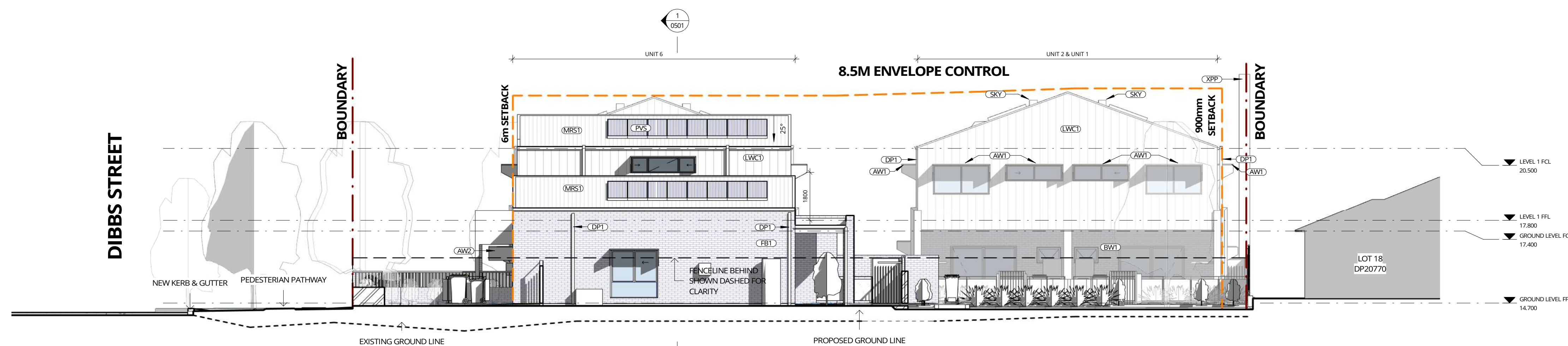
AW1	AWNING - TYPE 1
AW2	AWNING - TYPE 2
BW1	BRICK WALL - TYPE 1
DP1	DOWNPIPE - TYPE 1
DP5	DOWNPIPE SPREADER
F2	FENCE - TYPE 2
FB1	FACE BRICK - TYPE 1
LWC1	LIGHT WEIGHT CLADDING - TYPE 1
MRS1	METAL ROOF SHEETING - TYPE 1
MRS2	METAL ROOF SHEETING - TYPE 2
PVS	PHOTOVOLTAIC SOLAR PANELS
SKY	SKYLIGHT
XPP	EXISTING POWER POLE

NOTE:

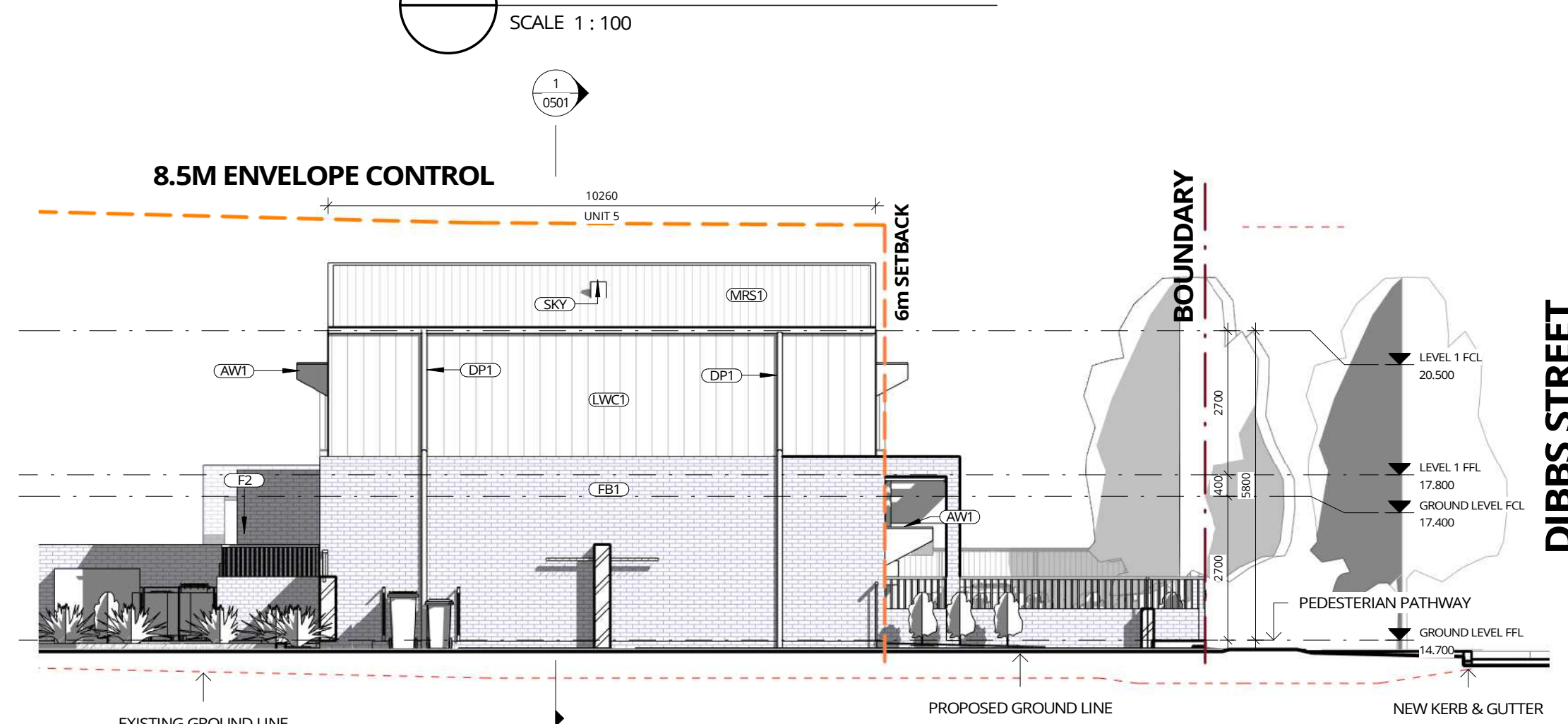
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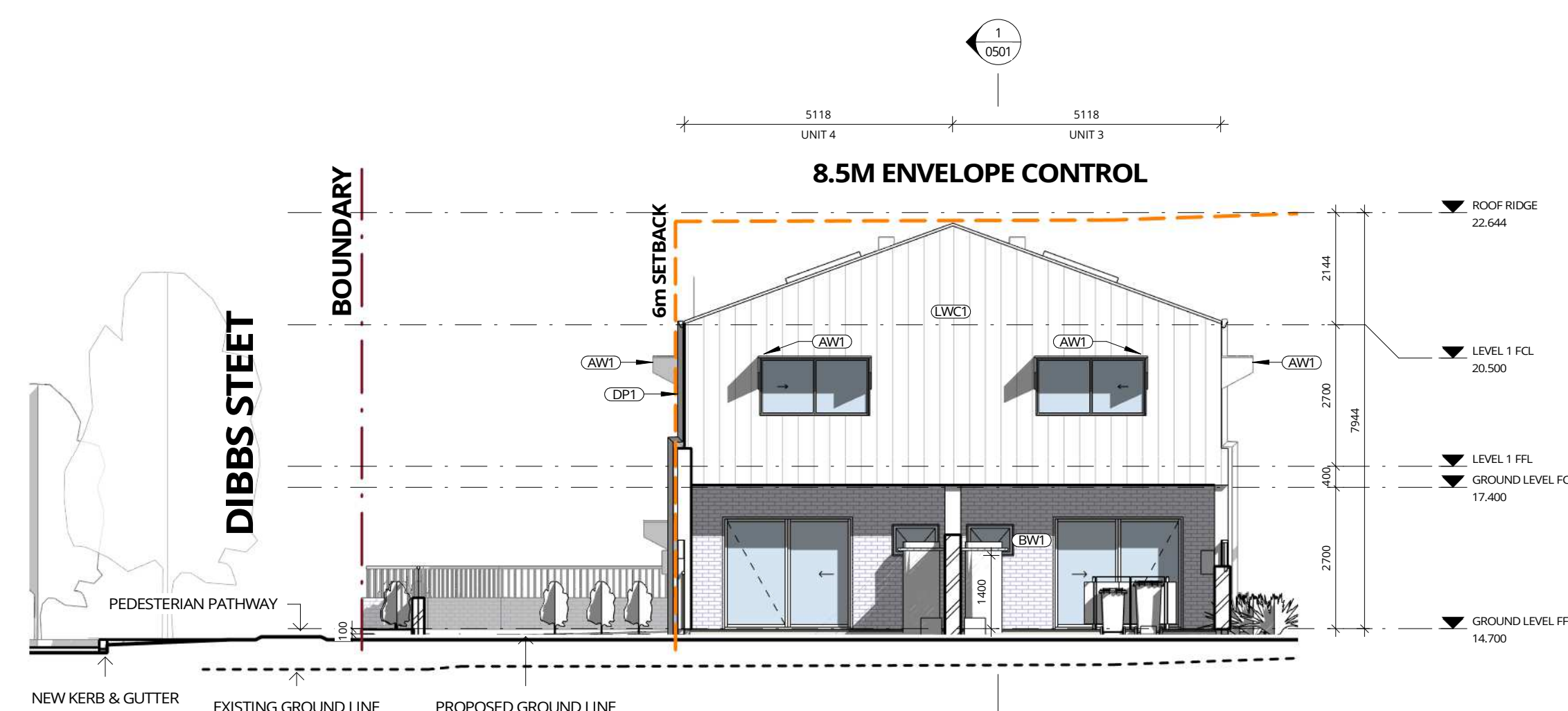
5 WEST ELEVATION - UNIT 1
SCALE 1 : 100



6 NORTH ELEVATION - UNIT 6
SCALE 1 : 100



7 SOUTH ELEVATION - UNIT 5
SCALE 1 : 100



8 NORTH ELEVATION - UNIT 4 & UNIT 3
SCALE 1 : 100

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E	31.08.2023	FOR CLIENT COST ESTIMATE	LK	
F	15.09.2023	FOR DEVELOPMENT APPROVAL	LK	
G	26.09.2023	FOR DEVELOPMENT APPROVAL	LK	
H	23.10.2023	FOR DEVELOPMENT APPROVAL	SL	
I	20.11.2023	FOR DEVELOPMENT APPROVAL	LK	

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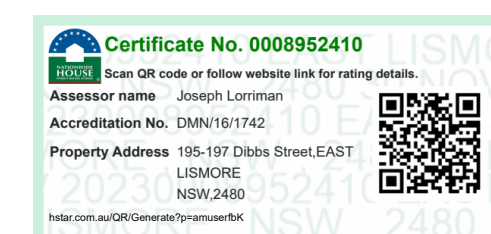
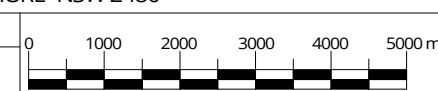
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ELEVATIONS - SHEET 2
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MULTI-DWELLING HOUSING
195 - 197 DIBBS ST EAST LISMORE NSW 2480

COMMENCEMENT DATE: 07.07.2022

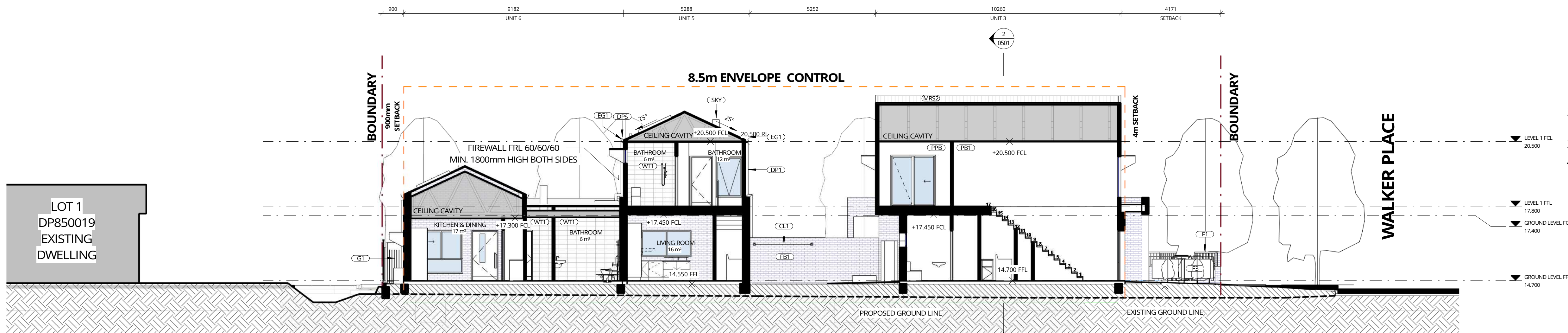
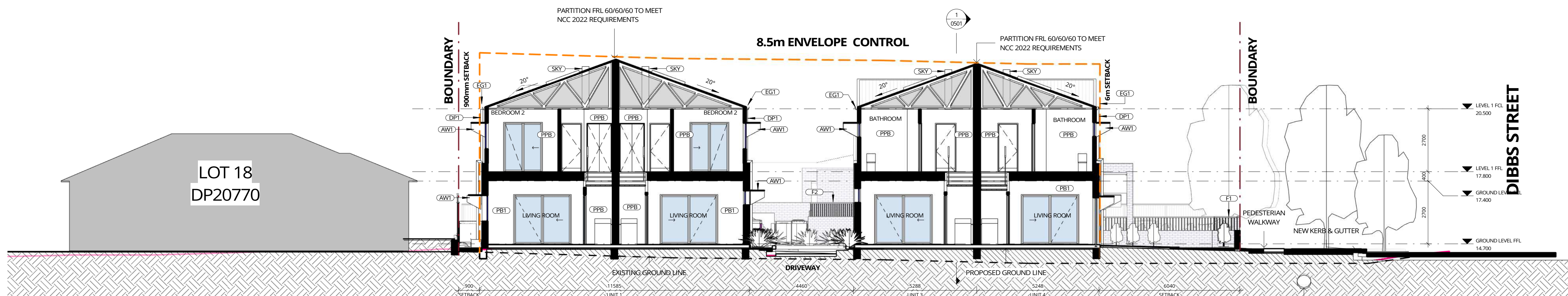


ABBREVIATIONS LEGEND

AW1	AWNING - TYPE 1
CL1	CLOTHES LINE - TYPE 1
DP1	DOWNPIPE - TYPE 1
DPS	DOWNPIPE SPREADER
EG1	EAVES GUTTER - TYPE 1
F1	FENCE - TYPE 1
F2	FENCE - TYPE 2
F3	FENCE - TYPE 3
FB1	FACE BRICK - TYPE 1
G1	GATE - TYPE 1
MRS2	METAL ROOF SHEETING - TYPE 2
PB1	PLASTERBOARD - TYPE 1
PPB	PAINTED PLASTERBOARD
SKY	SKYLIGHT
WT1	WALL TILE - TYPE 1

NOTE:

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2. EXISTING SERVICES TO BE CAPPED AND DISCONNECTED BEFORE DEMOLITION
3. REFER TO DETAILED SURVEY BY RPS AUSTRALIA EAST PTY LTD DATED 08.06.2022

SECTION 1
SCALE 1:100SECTION 2
SCALE 1:100

ROUS COUNTY COUNCIL 600mm DIAMETER
TRUNK MAIN LOCATION & DEPTH APPROXIMATE ONLY.
SERVICE LOCATOR REQUIRED.

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I	20.11.2023	FOR DEVELOPMENT APPROVAL	LK	

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Suite 3, Level 1, 426 Hunter Street Newcastle NSW 2300
newcastle@webberarchitects.com
Suite 206, 9 Clarke Street Crows Nest NSW 2006
sydney@webberarchitects.com

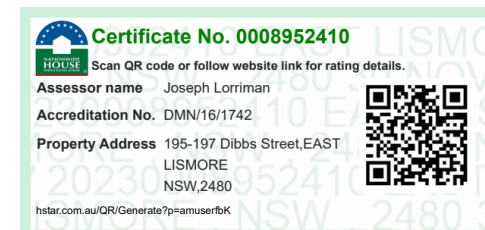
ISSUED
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SHEET NUMBER: 2882 / 0501 / I

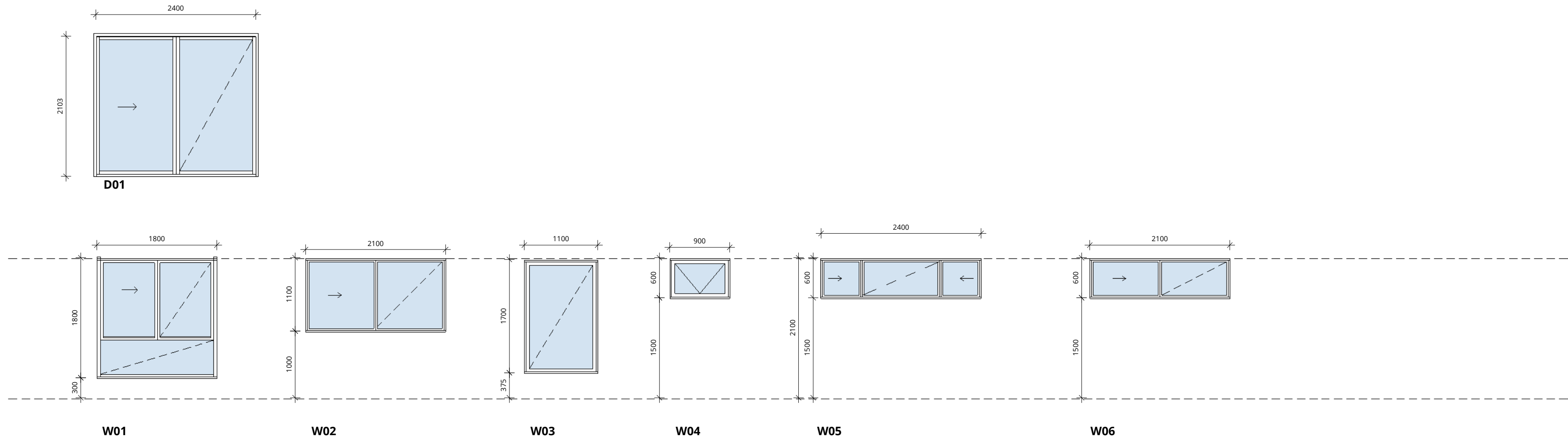
SECTIONS - SHEET 1
LAND AND HOUSING CORPORATION
MULTI-DWELLING HOUSING
195 - 197 DIBBS ST EAST LISMORE NSW 2480

COMMENCEMENT DATE: 07.07.2022

0 1000 2000 3000 4000 5000 mm
SCALE 1:100 @ A1



Window Schedule			
UNIT	LEVEL	Mark	Type Mark
UNIT 1	GROUND	1-01	W02
UNIT 1	GROUND	1-02	W02
UNIT 1	GROUND	1-03	W04
UNIT 1	LEVEL 1	1-04	W03
UNIT 1	LEVEL 1	1-05	W02
UNIT 1	LEVEL 1	1-06	W02
UNIT 1	LEVEL 1	1-07	W02
UNIT 1	LEVEL 1	1-08	W06
UNIT 2	GROUND	2-01	W02
UNIT 2	GROUND	2-02	W06
UNIT 2	GROUND	2-03	W04
UNIT 2	LEVEL 1	2-04	W03
UNIT 2	LEVEL 1	2-05	W02
UNIT 2	LEVEL 1	2-06	W02
UNIT 2	LEVEL 1	2-07	W02
UNIT 2	LEVEL 1	2-08	W06
UNIT 3	GROUND	3-01	W02
UNIT 3	GROUND	3-02	W06
UNIT 3	GROUND	3-03	W04
UNIT 3	LEVEL 1	3-04	W03
UNIT 3	LEVEL 1	3-05	W02
UNIT 3	LEVEL 1	3-06	W05
UNIT 3	LEVEL 1	3-07	W02
UNIT 4	GROUND	4-01	W02
UNIT 4	GROUND	4-02	W04
UNIT 4	LEVEL 1	4-03	W03
UNIT 4	LEVEL 1	4-04	W02
UNIT 4	LEVEL 1	4-05	W05
UNIT 4	LEVEL 1	4-06	W02
UNIT 5	GROUND	5-01	W02
UNIT 5	GROUND	5-02	W04
UNIT 5	LEVEL 1	5-03	W03
UNIT 5	LEVEL 1	5-04	W02
UNIT 5	LEVEL 1	5-05	W05
UNIT 5	LEVEL 1	5-06	W02
UNIT 6	GROUND	6-01	W01
UNIT 6	GROUND	6-02	W01
UNIT 6	GROUND	6-03	W01
UNIT 6	GROUND	6-04	W02
UNIT 6	GROUND	6-05	W06



REV	DATE	DESCRIPTION	BY	CHK
A	31.08.2023	FOR CLIENT COST ESTIMATE	LK	
B	21.09.2023	FOR BAGS	LK	

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DOOR & WINDOW SCHEDULE
LAND AND HOUSING CORPORATION
195 - 197 DIBBS ST EAST LISMORE NSW 2480

COMMENCEMENT DATE: 07.07.2022
SHEET NUMBER: **2882 / 0801 / B**
SCALE 1:50 @ A1

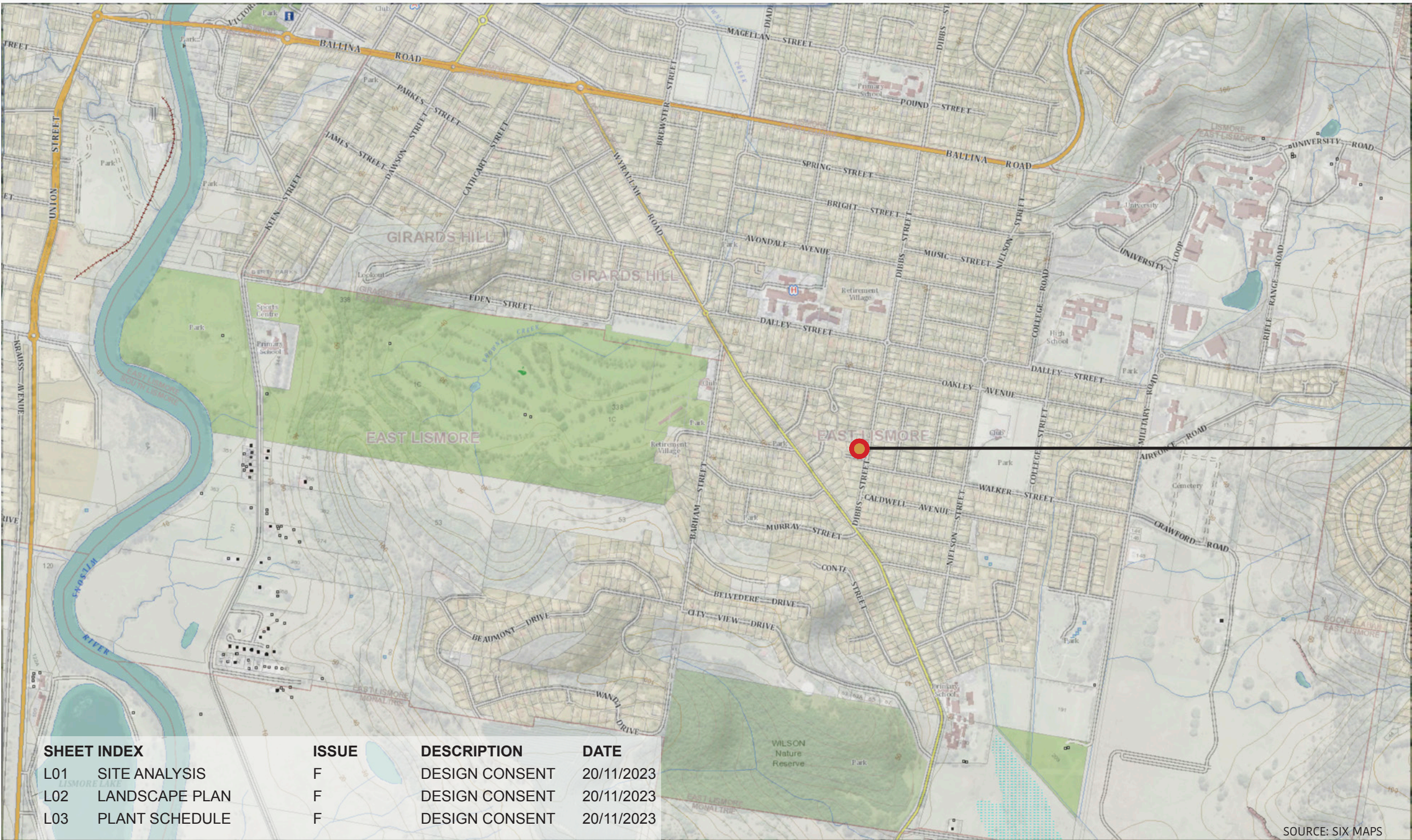
Yalinda Gil

195-197 Dibbs Street, EAST LISMORE

LOT 1 / DP121490 and LOT 20 / DP 20770

Landscape Documentation

CONTEXT PLAN



DEVELOPMENT
SITE

NORTH

SOURCE: SIX MAPS

SHEET INDEX

L01	SITE ANALYSIS
L02	LANDSCAPE PLAN
L03	PLANT SCHEDULE

ISSUE

F
F
F

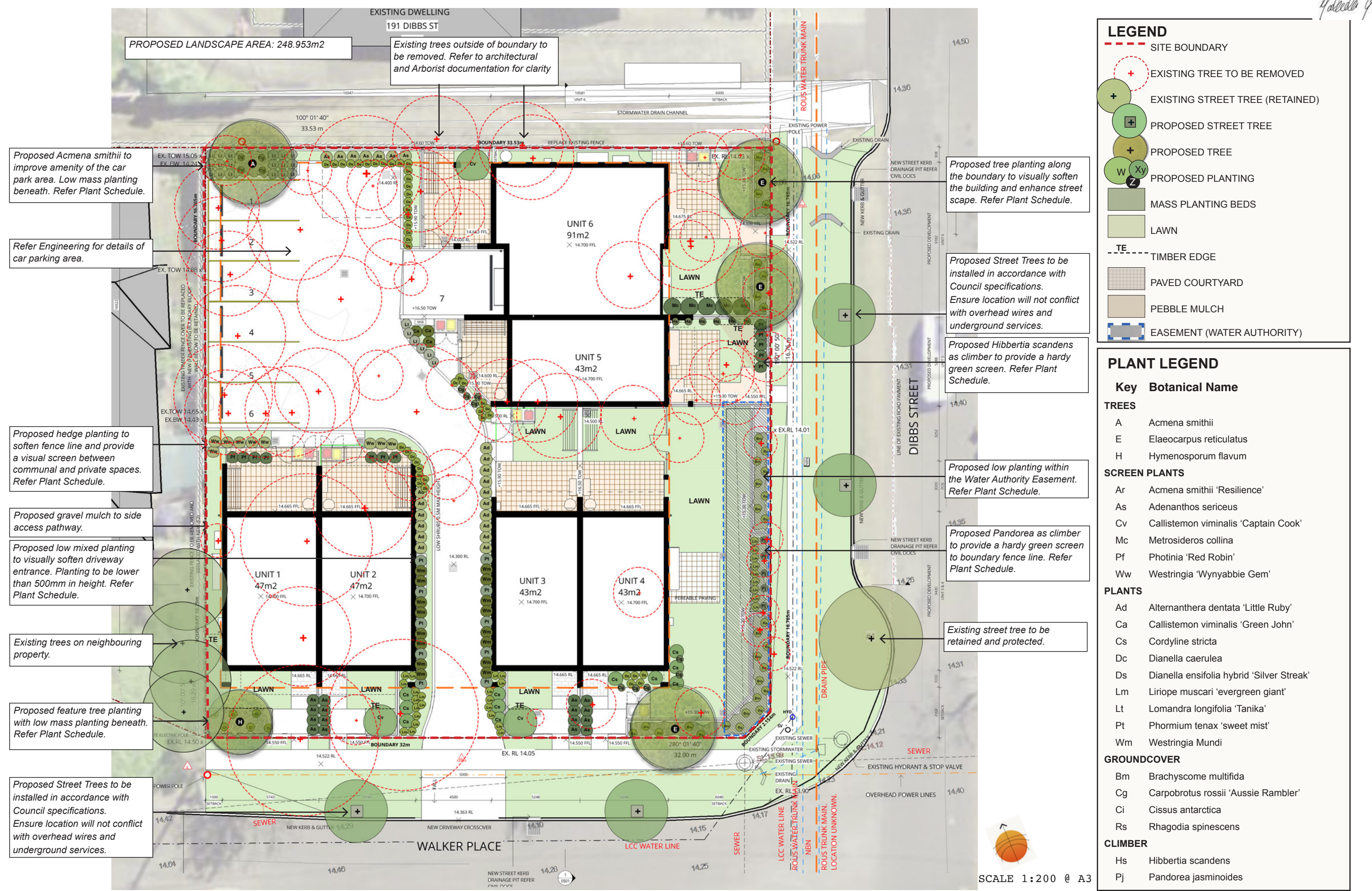
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DESIGN CONSENT
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DESIGN CONSENT

DATE

20/11/2023
20/11/2023
20/11/2023

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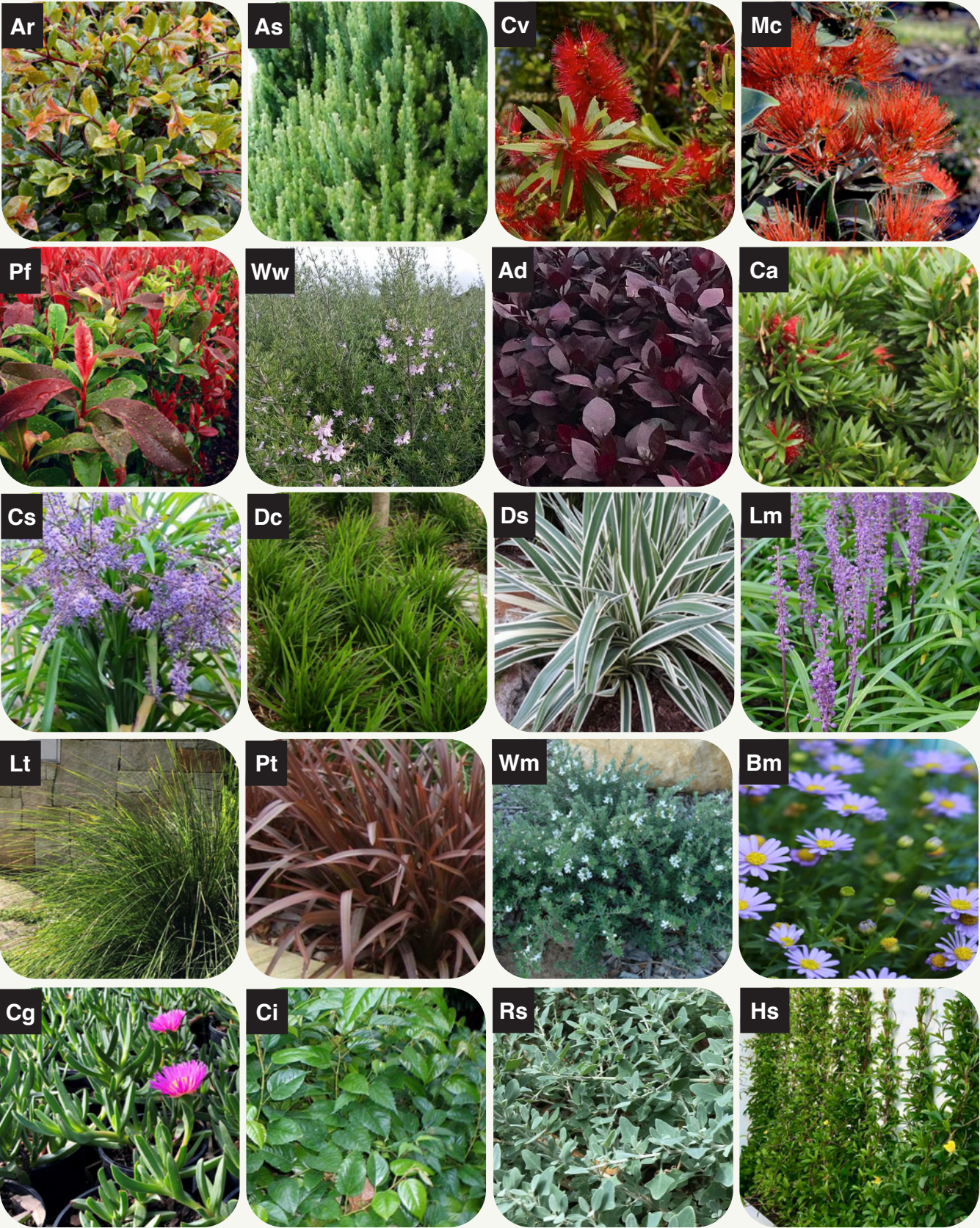
Yalea Gil

PLANTING SCHEDULE

PLANTING IMAGES

Key	Botanical Name	Common Name	Pot Size	Mature Height	Mature Width	Quantity
TREES						
A	Acmena smithii	Lilly Pilly	75L	8m	6m	1
E	Elaeocarpus reticulatus	Blueberry Ash	75L	7m	4m	3
H	Hymenosporum flavum	Native Frangipani	75L	8m	3m	1
SCREEN PLANTS						
Ar	Acmena smithii 'Resilience'	Lilly Pilly Resilience	200mm	3m	1m	16
As	Adenanthos sericeus	Wooly Bush	200mm	3m	1m	7
Cv	Callistemon viminalis 'Captain Cook'	Bottlebrush	200mm	2m	1.5m	3
Mc	Metrosideros collina	NZ Christmas Bush	200mm	2m	1.5m	5
Pf	Photinia 'Red Robin'	Photinia	200mm	2.5m	1.5m	12
Ww	Westringia 'Wynyabbie Gem'	Coastal Rosemary	200mm	2m	1m	9
PLANTS						
Ad	Alternanthera dentata 'Little Ruby'	Little Ruby	140mm	0.4m	0.8m	16
Ca	Callistemon viminalis 'Green John'	Green John	140mm	0.6m	0.6m	3
Cs	Cordyline stricta	Slender Palm Lily	140mm	2.5m	1m	11
Dc	Dianella caerulea	Flax Lily	140mm	0.5m	0.5m	13
Ds	Dianella ensifolia hybrid 'Silver Streak'	Stripey Flax Lily	140mm	0.5m	0.5m	22
Lm	Liriope muscari 'evergreen giant'	Lily Turf	140mm	0.5m	0.5m	22
Lt	Lomandra longifolia 'Tanika'	Mat Rush	140mm	0.5m	0.5m	24
Pt	Phormium tenax 'sweet mist'	NZ Flax	140mm	0.4m	0.4m	10
Wm	Westringia Mundi	Dwarf Coastal Rosemary	140mm	0.4m	0.6m	16
GROUNDCOVER						
Bm	Brachyscome multifida	Native Daisy	140mm	0.2m	1.0	26
Cg	Carpobrotus rossii 'Aussie Rambler'	Native Pigface	140mm	0.2m	2m	13
Ci	Cissus antarctica	Kangaroo Vine	140mm	0.2m	2m	6
Rs	Rhagodia spinescens	Salt Bush	140mm	0.3m	2m	26
CLIMBER						
Hs	Hibbertia scandens	Snake Vine	140mm	Climber		6
Pj	Pandorea jasminoides	Bower Vine	140mm	Climber		5

TREE IMAGES



CIVIL ENGINEERING DRAWINGS

195-197 DIBBS STREET

EAST LISMORE NSW 2480

ISSUED FOR DEVELOPMENT APPROVAL

DRAWING SCHEDULE

PLAN NUMBER	DRAWING TITLE
8976-DA-000	COVER SHEET
8976-DA-001	GENERAL NOTES & LEGEND SHEET 1 OF 2
8976-DA-002	GENERAL NOTES & LEGEND SHEET 2 OF 2
8976-DA-100	STORMWATER PLAN SHEET
8976-DA-500	STORMWATER DETAILS
8976-DA-501	OSD TANK SECTIONS AND DETAILS
8976-DA-601	OSD CATCHMENT PLAN
8976-DA-800	EROSION AND SEDIMENT CONTROL PLAN
8976-DA-810	EROSION AND SEDIMENT CONTROL NOTES AND DETAILS






LOCALITY PLAN
NTS

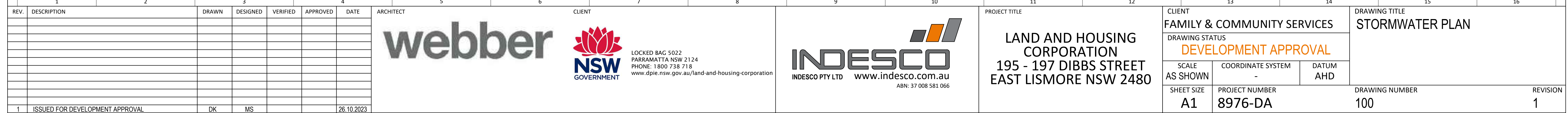
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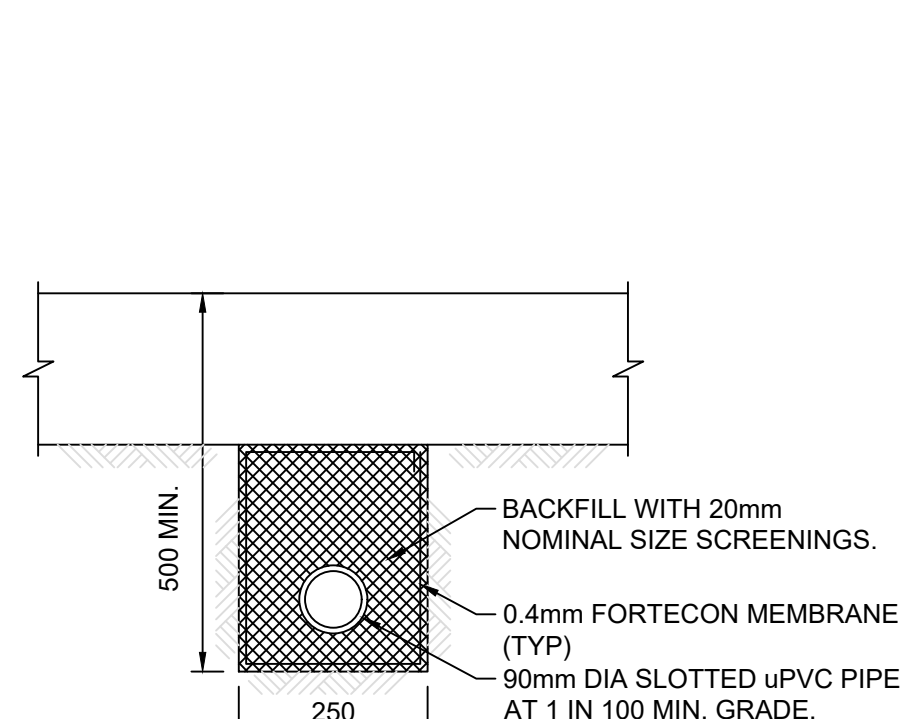
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COUNCIL:

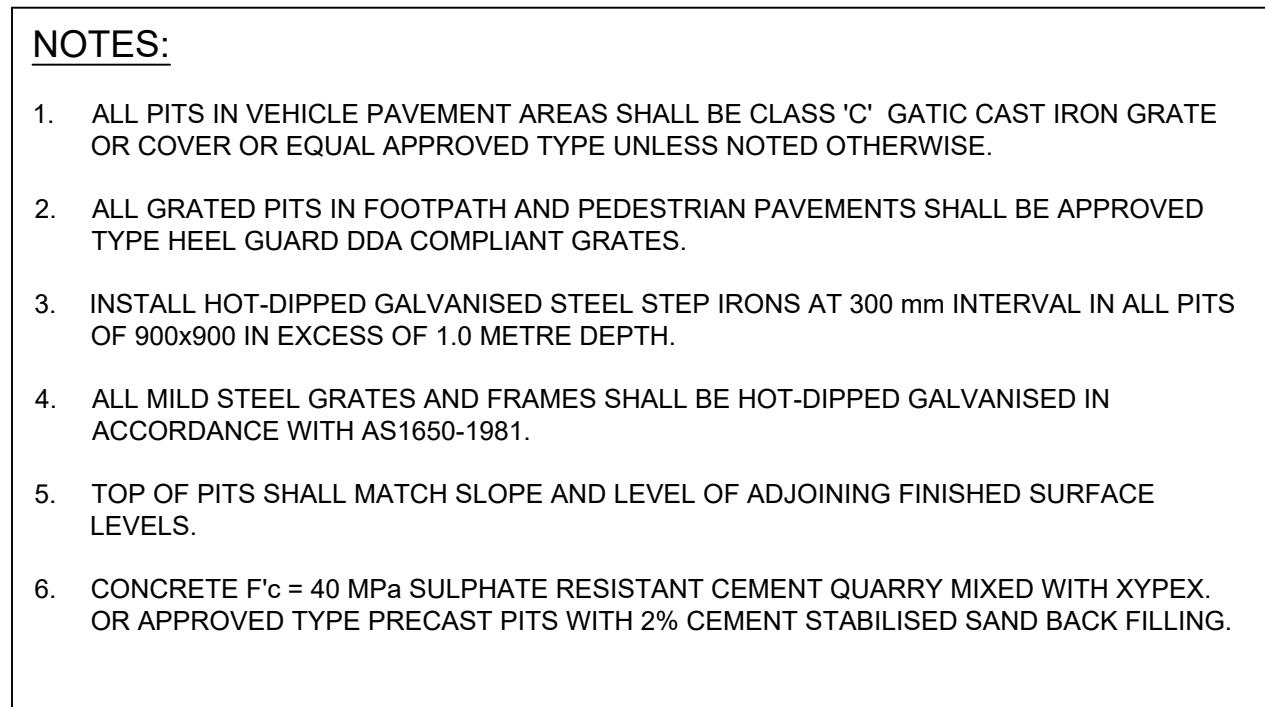


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REV.	DESCRIPTION	DRAWN	DESIGNED	VERIFIED	APPROVED	DATE	ARCHITECT	CLIENT										PROJECT TITLE		CLIENT		DRAWING STATUS		DRAWING TITLE							
								 <div>LOCKED BAG 5022 PARRAMATTA NSW 2124 PHONE: 1 800 738 718 www.dpie.nsw.gov.au/land-and-housing-corporation</div>	 <div>INDESCO PTY LTD www.indesco.com.au ABN: 37 008 581 066</div>	LAND AND HOUSING CORPORATION 195 - 197 DIBBS STREET EAST LISMORE NSW 2480	FAMILY & COMMUNITY SERVICES		GENERAL NOTES & LEGEND																		
											DEVELOPMENT APPROVAL		SHEET 2 OF 2																		
						SCALE AS SHOWN					COORDINATE SYSTEM	DATUM																			
											-	AHD																			
						SHEET SIZE					PROJECT NUMBER		DRAWING NUMBER		REVISION																
1	ISSUED FOR DEVELOPMENT APPROVAL	DK	MS			11/08/2023					A1		8976-DA		002		1														





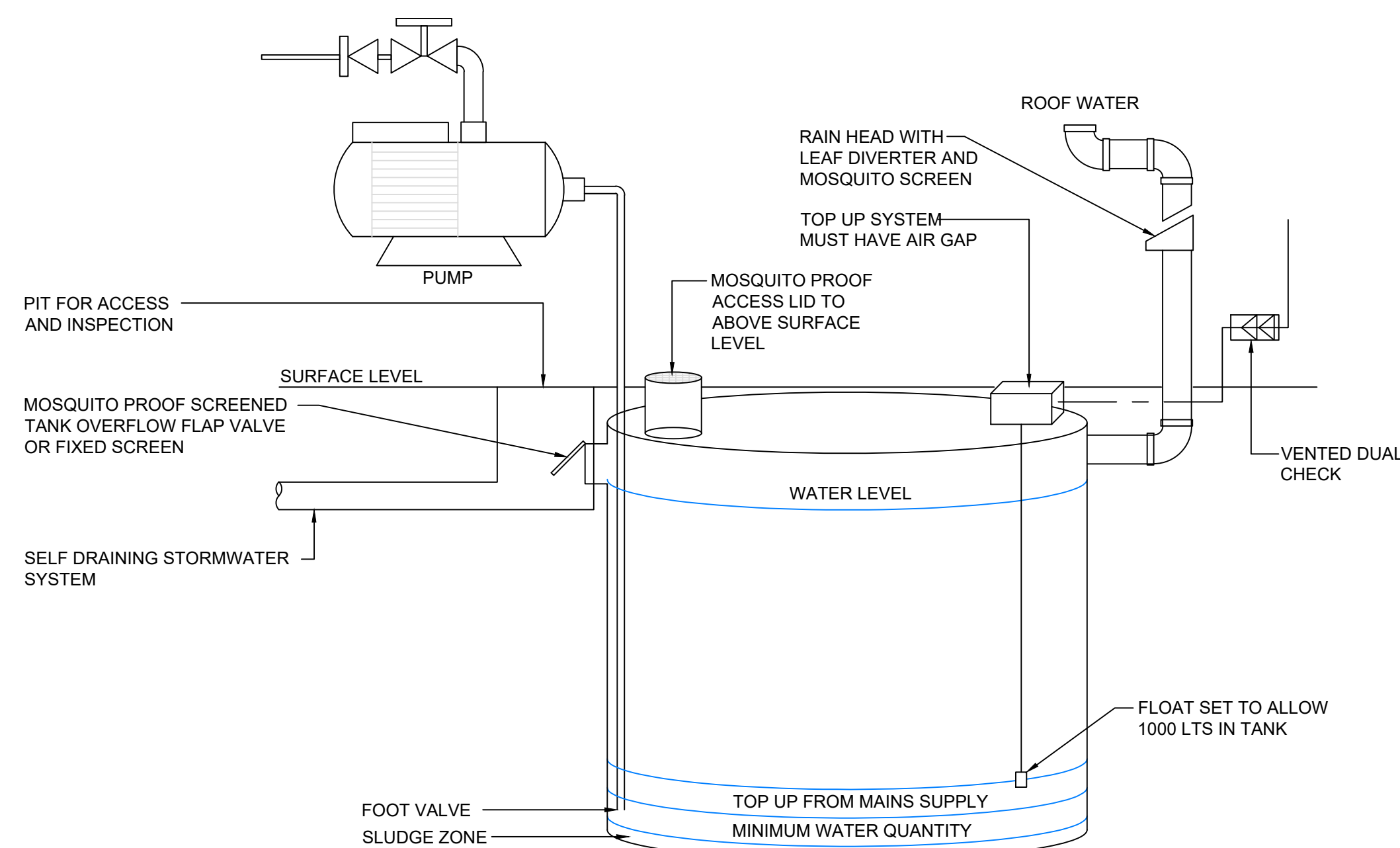
AGRICULTURAL DRAIN (SS)
DETAIL
NOT TO SCALE



UNDERGROUND RAINWATER TANK DETAIL

NOT TO SCALE

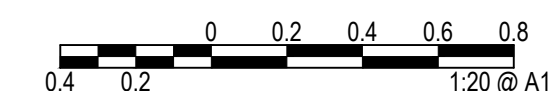
NOTE:
TANK TAPS PROVIDED ARE TO BE MARKED "RAINWATER-NOT FOR HUMAN CONSUMPTION"



UNDERGROUND RAINWATER TANK DETAIL

NOT TO SCALE

NOTE:
TANK TAPS PROVIDED ARE TO BE MARKED "RAINWATER-NOT FOR HUMAN CONSUMPTION"

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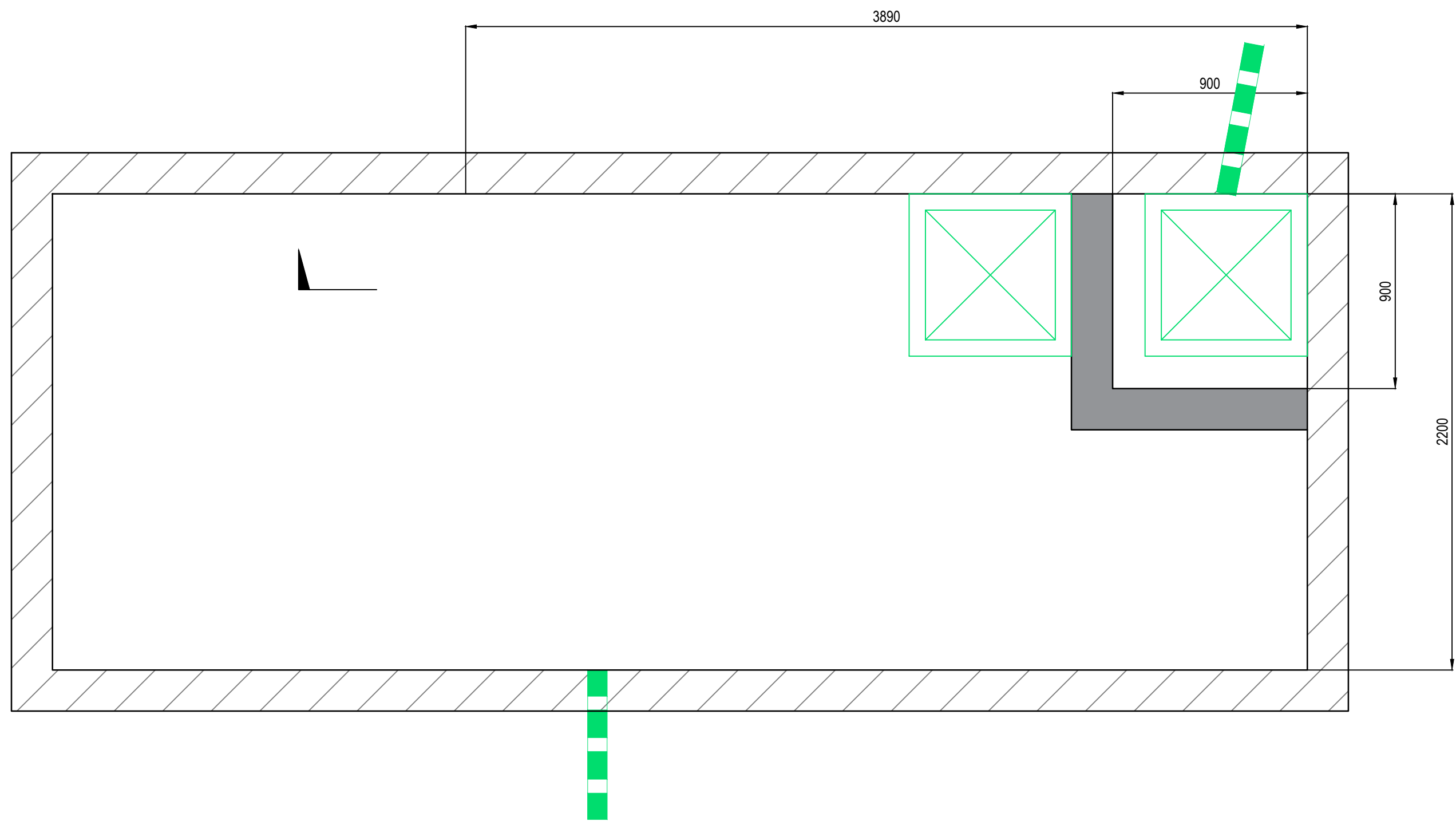
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PROJECT TITLE

LAND AND HOUSING
CORPORATION
195 - 197 DIBBS STREET
EAST LISMORE NSW 2480

CLIENT		25		27	
FAMILY & COMMUNITY SERVICES					
DRAWING STATUS					
DEVELOPMENT APPROVAL					
SCALE		COORDINATE SYSTEM		DATUM	
AS SHOWN		-		AHD	
SHEET SIZE		PROJECT NUMBER			
A1		8976-DA			

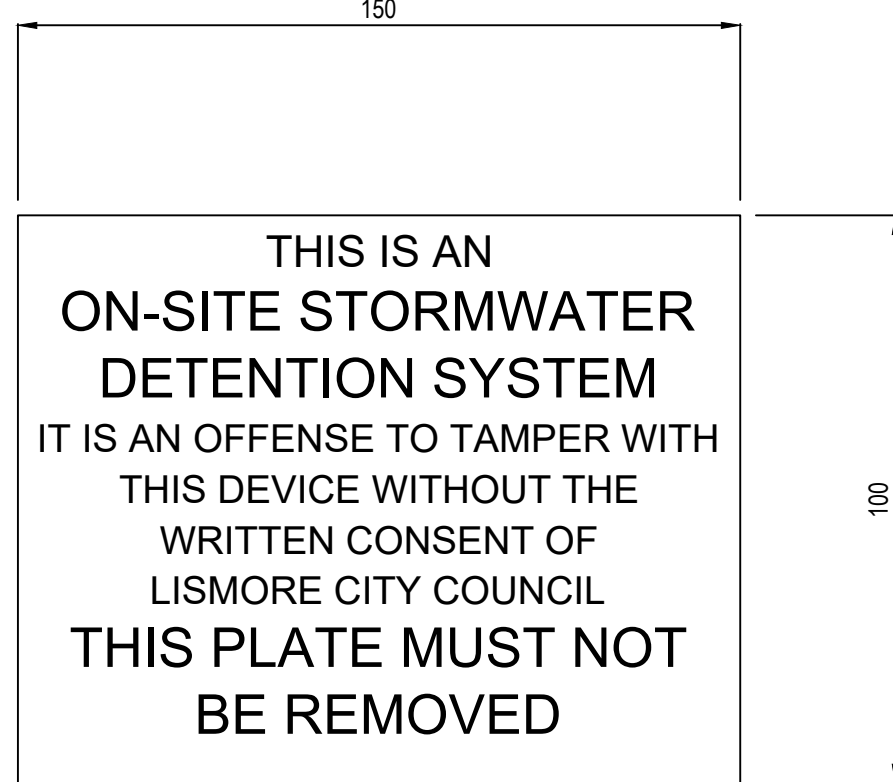
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STORMWATER DETAILS				
DRAWING NUMBER		REVISION		
500		1		



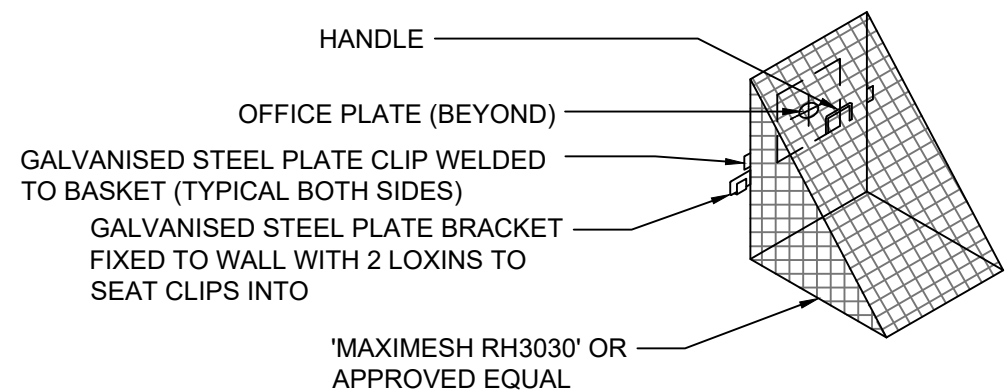
OSD PLAN
SCALE 1:20



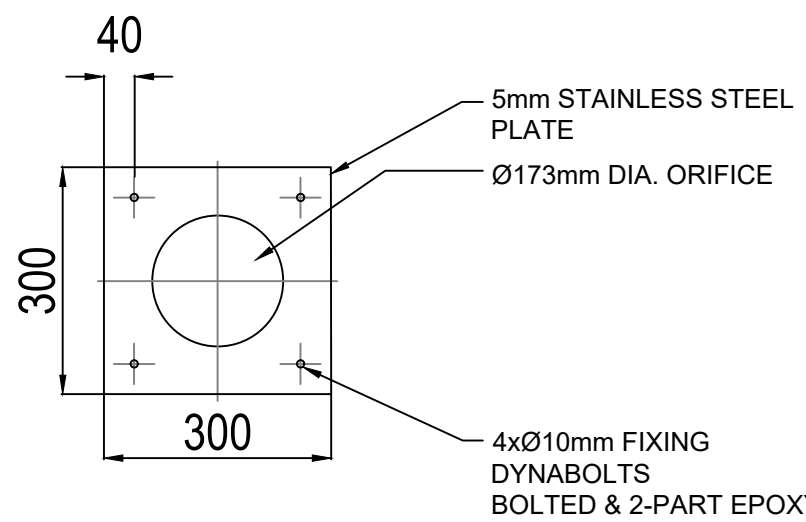
OSD TANK CONFINED SPACE SIGN
SCALE 1:50



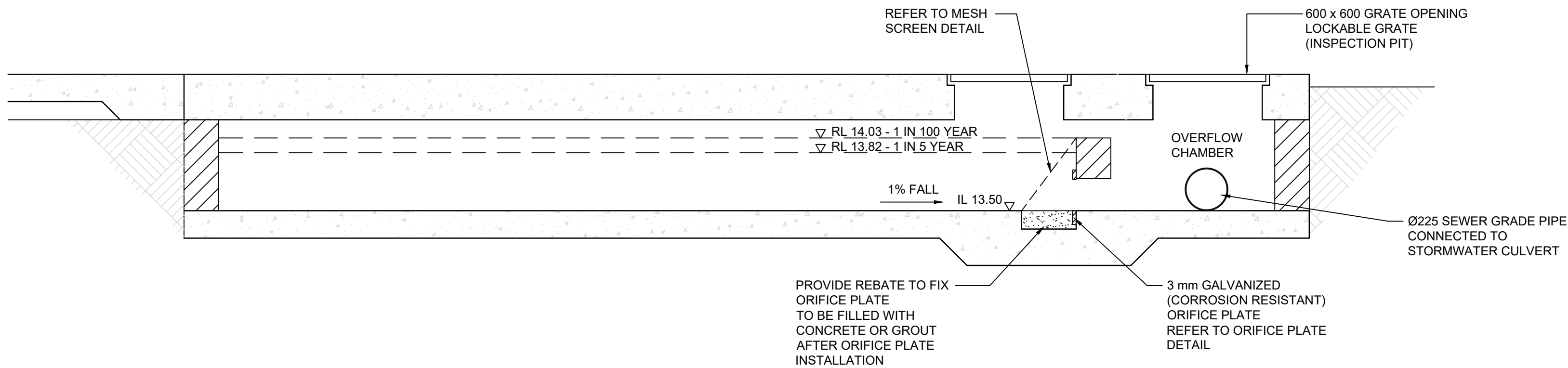
OSD SIGN
SCALE 1:50



TRASH SCREEN DETAIL
SCALE 1:20



ORIFICE PLATE DETAIL
SCALE 1:20



A SECTION
SCALE 1:20

OSD Calculator			
Job Description: 195-197 Dibbs Street LISMORE			
Tributary Area (m ²)	% IMP Existing Conditions	% IMP Developed Conditions	1-hr, 50yr (mm/hr) read from fig =>
1174	30.0	76.0	82
F1 - 5yr	1.00	1.10	1.20
F1 - 100yr	1.00	1.08	1.19
F2	1.11		
F3		0.08	0.17
F4		0.58	0.58
PSD 5yr (l/s/ha)	243	268	292
PSD 100yr (l/s/ha)	426	461	505
SSR 5yr (m ³ /ha)		23	53
SSR 100yr (m ³ /ha)		40	92

OSD Requirements	
Flow 5yr (l/s)	31.4
Flow 100yr (l/s)	54.2
Volume 5yr (m ³)	3.59
Volume 100yr (m ³)	6.12

Orifice Discharge Calculations		
Engineer:	MS	
Job Address:	195-197 Dibbs Street EAST LISMORE	Job No.: 8976
Equation:	$Q = CA(2gh)^{0.5}$	
	Discharge, Q _s	0.0314 m ³ /s
	Coefficient of Discharge, C	0.61
	Acceleration to gravity, g	9.81 m ² /s
	Depth of Water, h ₅	0.244 m
	Orifice area, A	0.02353 m ²
Orifice Size:	Diameter of Orifice	173 mm



REV.	DESCRIPTION	DRAWN	DESIGNED	VERIFIED	APPROVED	DATE
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ABN: 37 008 581 066

PROJECT TITLE

LAND AND HOUSING CORPORATION
195 - 197 DIBBS STREET
EAST LISMORE NSW 2480

CLIENT

FAMILY & COMMUNITY SERVICES

DRAWING STATUS
DEVELOPMENT APPROVAL

SCALE AS SHOWN
A1

COORDINATE SYSTEM
-

DATUM
AHD

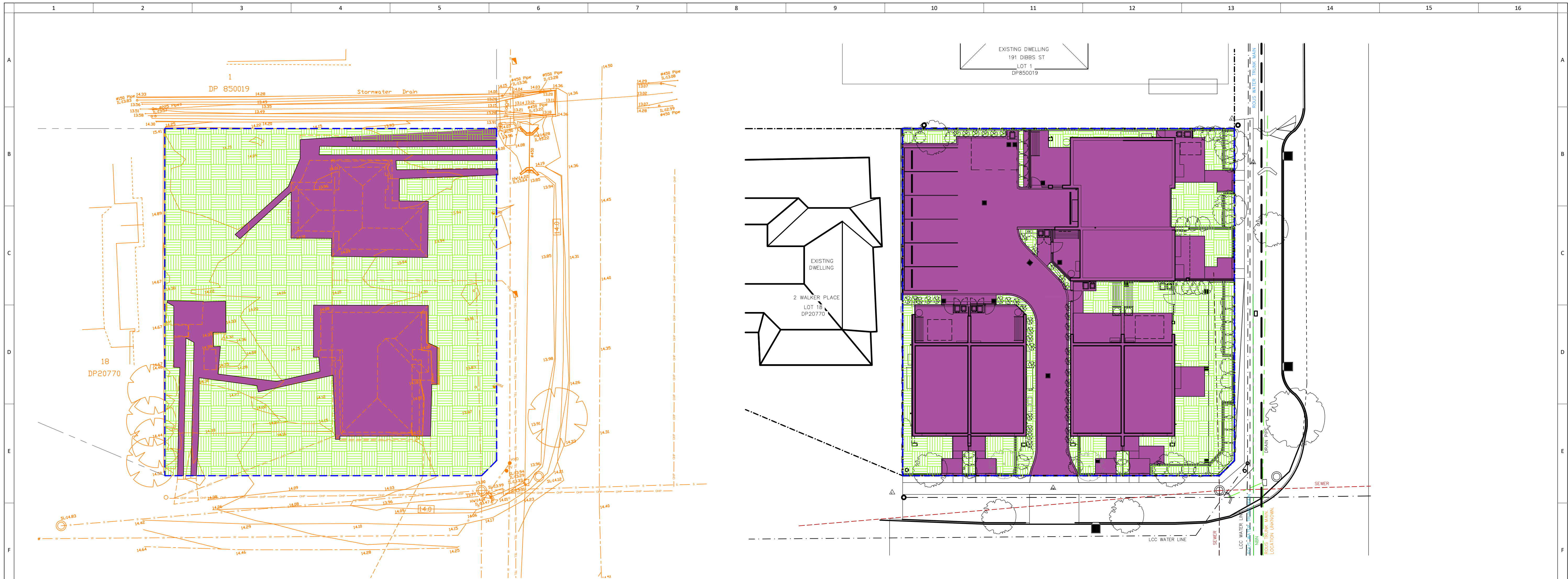
PROJECT NUMBER
8976-DA

DRAWING TITLE

OSD TANK SECTIONS AND DETAILS

DRAWING NUMBER
501

REVISION
1



EXISTING SITE CONDITIONS

SCALE 1:200 AT A1

LEGEND

SUB CATCHMENT BOUNDARY

EXISTING IMPERVIOUS AREA

EXISTING PERVIOUS AREA

PROPOSED SITE CONDITIONS

SCALE 1:200 AT A1

LEGEND

SUB CATCHMENT BOUNDARY

PROPOSED IMPERVIOUS AREA

PROPOSED PERVIOUS AREA

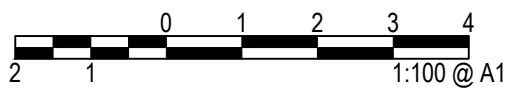
OSD Calculator

Job Description: 195-197 Dibbs Street LISMORE

Tributary Area (m ²)	% IMP Existing Conditions	% IMP Developed Conditions	1 hr. 50yr (mm/hr) read from fig =>
1174	30.0	76.0	82
	Natural	Existing	Post Development
F1 - 5yr	1.00	1.10	1.20
F1 - 100yr	1.00	1.08	1.19
F2	1.11		
F3		0.08	0.17
F4		0.58	0.58
PSD 5yr (l/s/ha)	243	268	292
PSD 100yr (l/s/ha)	426	461	505
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FAMILY & COMMUNITY SERVICES

DRAWING STATUS

DEVELOPMENT APPROVAL

SCALE AS SHOWN

SHEET SIZE

A1

COORDINATE SYSTEM

DATUM

AHD

PROJECT NUMBER

8976-DA

DRAWING TITLE

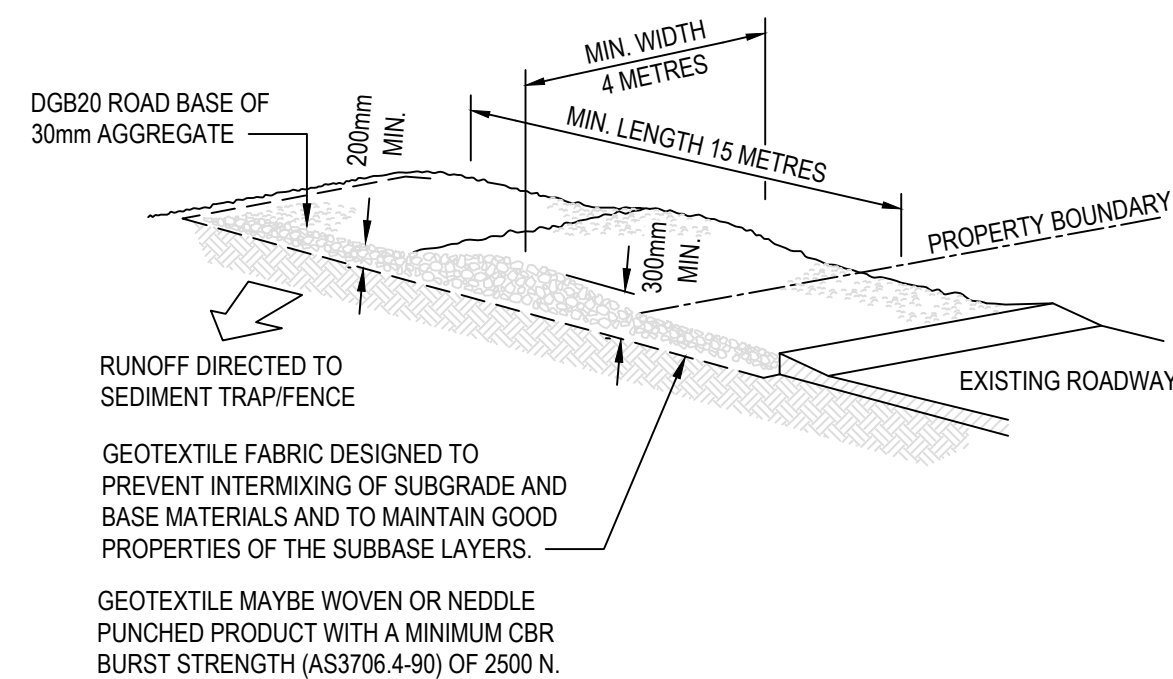
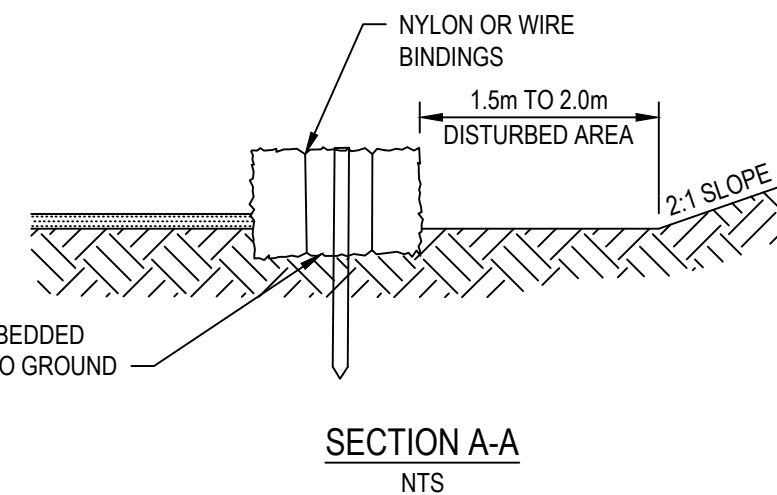
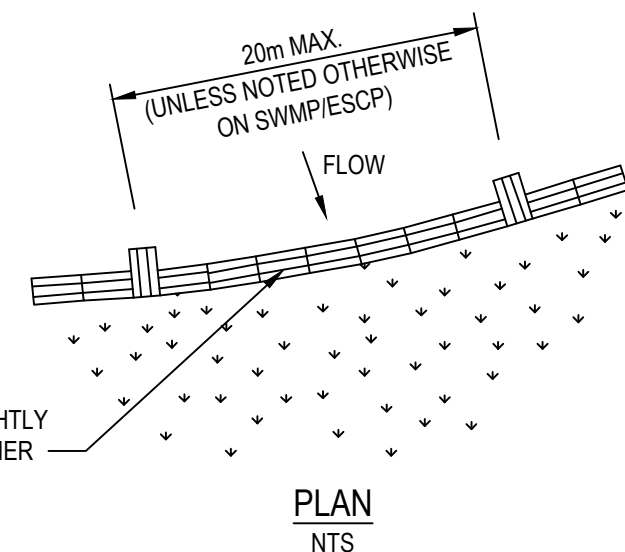
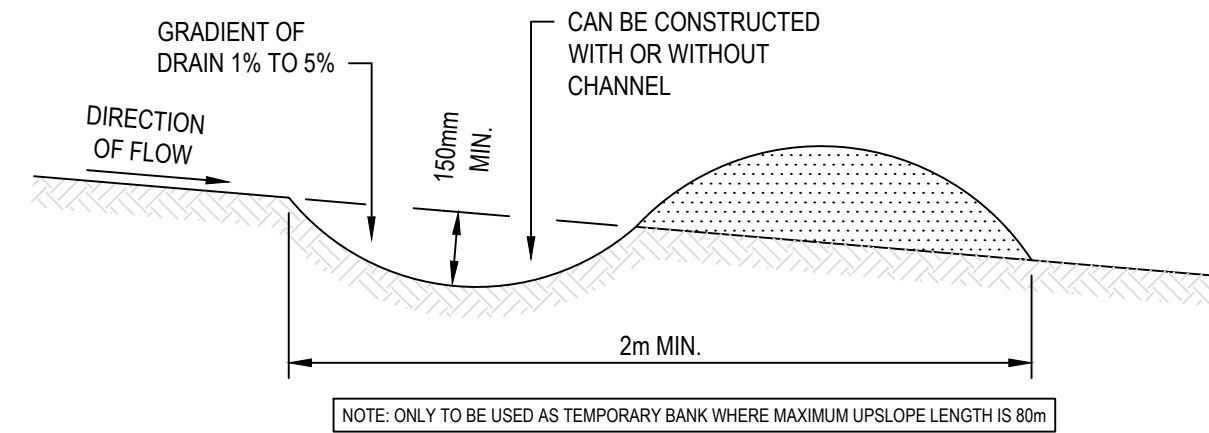
OSD CATCHMENT PLAN AND CALCULATIONS

DRAWING NUMBER

601

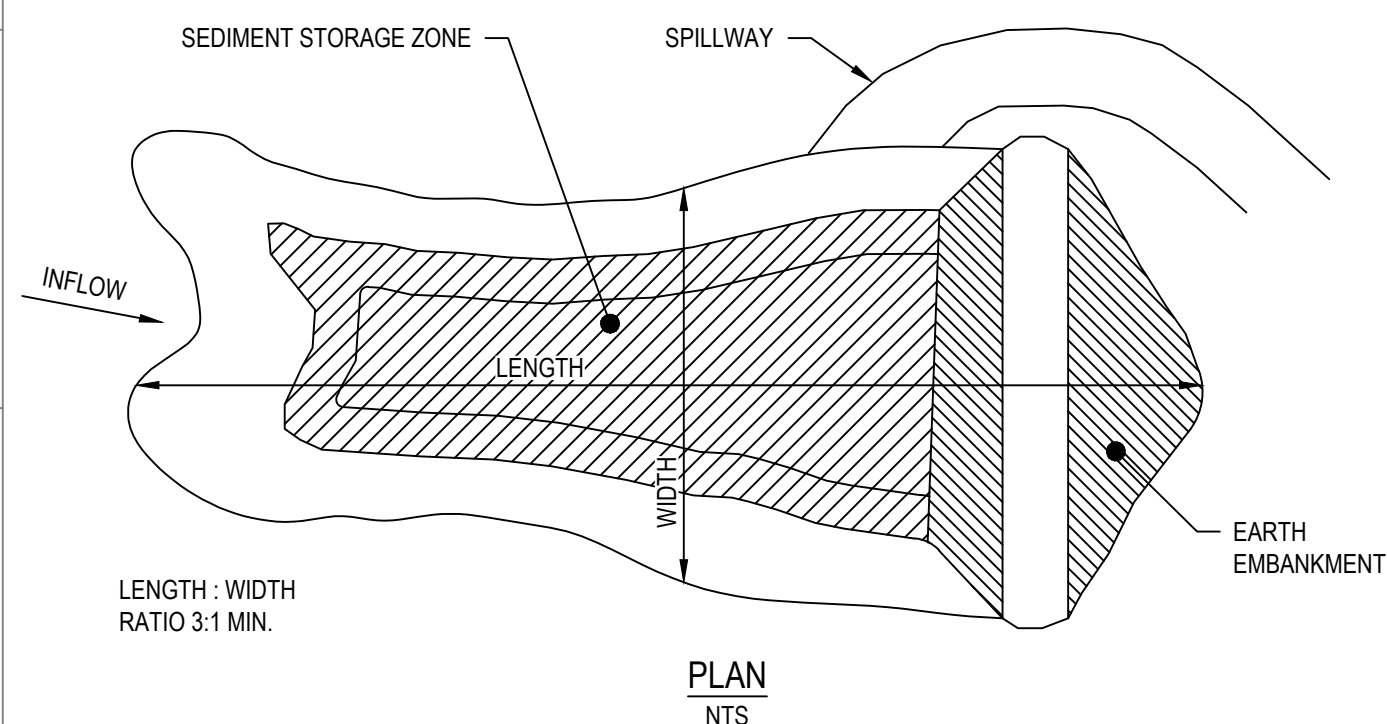
REVISION

1



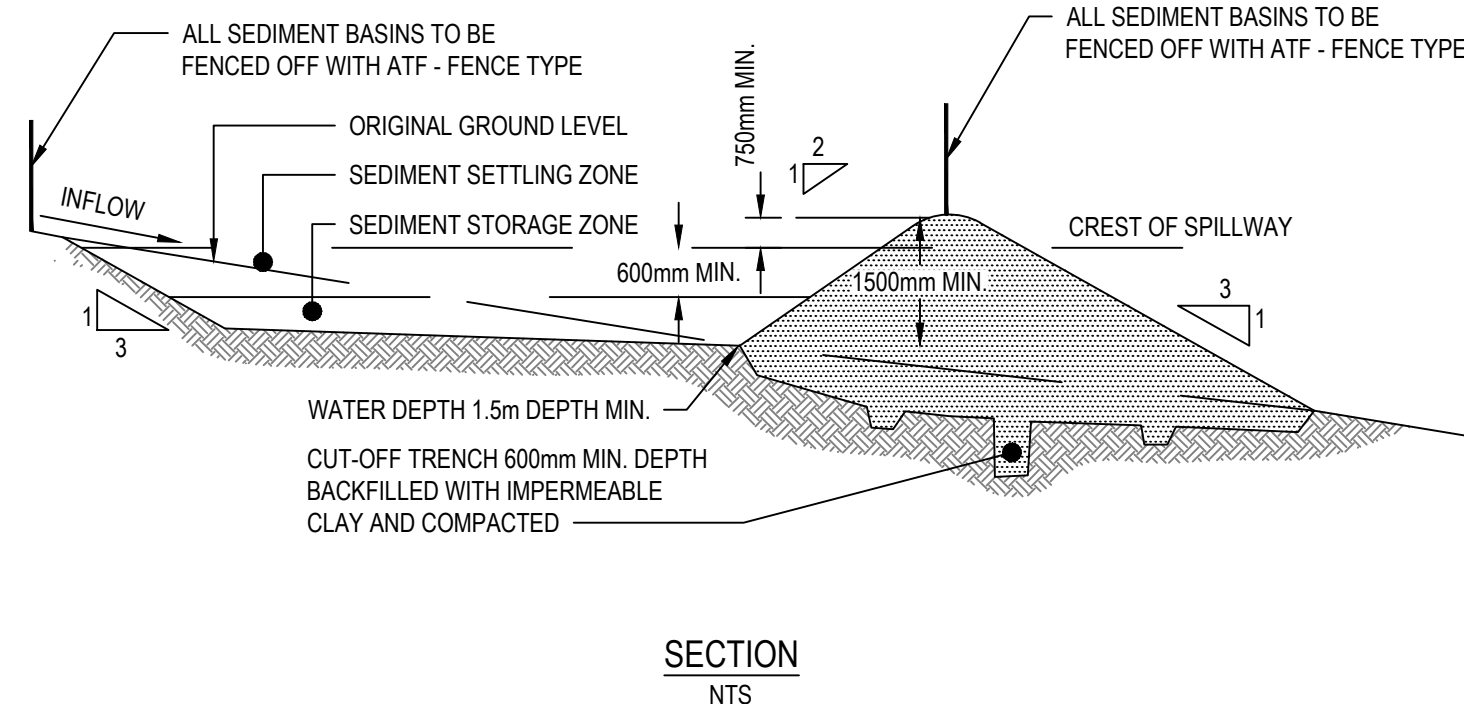
1. STRIP THE TOPSOIL, LEVEL THE SITE AND COMPACT THE SUBGRADE.
2. COVER THE AREA WITH NEEDLE - PUNCHED GEOTEXTILE.
3. CONSTRUCT A 200mm THICK PAD OVER THE GEOTEXTILE USING ROAD BASE OR 30mm AGGREGATE.
4. ENSURE THE STRUCTURE IS AT LEAST 15 METRES LONG OR TO BUILDING ALIGNMENT AND AT LEAST 3 METRES WIDE.
5. WHERE A SEDIMENT FENCE JOINS ONTO THE STABILISED ACCESS, CONSTRUCT A HUMP IN THE STABILISED ACCESS TO DIVERT WATER TO SEDIMENT FENCE.

NTS



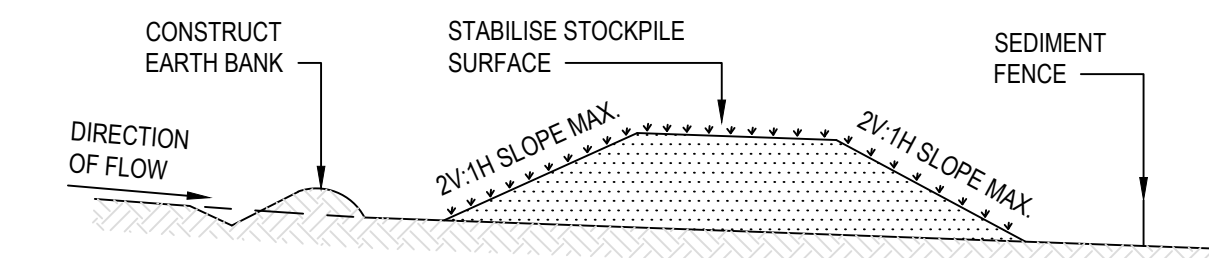
1. CONSTRUCTION SEDIMENT FENCES AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE
2. DIVE 1.5m LONG STAR PICKETS INTO GROUND, 3m APART
3. DIG A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED
4. BACKFILL TRENCH OVER BASE OF FABRIC
5. FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER
6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP

NTS



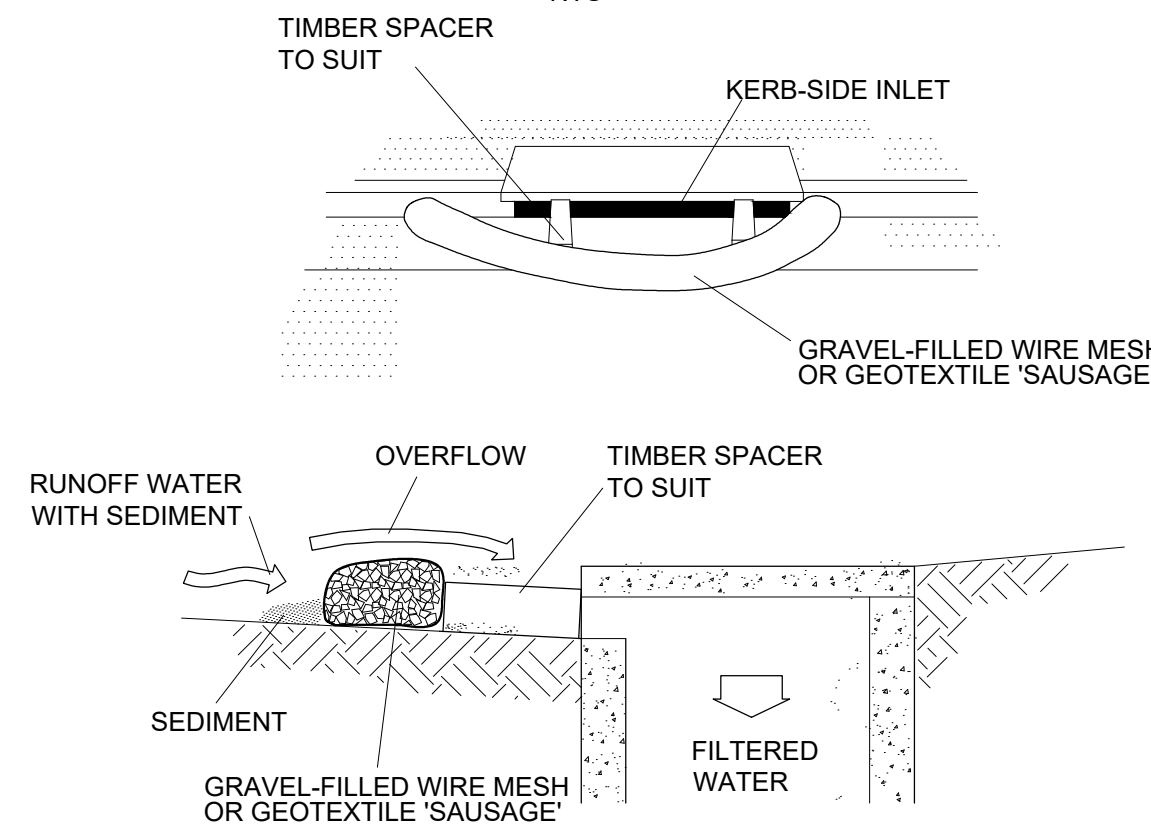
1. REMOVE ALL VEGETATION AND TOPSOIL FROM UNDER THE DAM WALL AND FROM WITHIN THE STORAGE AREA
2. CONSTRUCT A CUT-OFF TRENCH 500mm DEEP AND 1,200mm WIDE ALONG THE CENTRELINe OF THE EMBANKMENT EXTENDING TO A POINT ON THE GULLY WALL LEVEL WITH THE RISER CREST
3. MAINTAIN THE TRENCH FREE OF WATER AND RECOMPACT THE MATERIALS WITH EQUIPMENT AS SPECIFIED IN THE SWMP TO 95% STANDARD PROCTOR DENSITY
4. SELECT FILL FOLLOWING THE SWMP THAT IS FREE OF ROOTS, WOOD ROCK LARGE STONE OR FOREIGN MATERIAL
5. PREPARE THE SITE UNDER THE EMBANKMENT BY RIPPING TO AT LEAST 100mm TO HELP BOND COMPACTED FILL TO THE EXISTING SUBSTRATE
6. SPREAD THE FILL IN 100mm TO 150mm LAYER AND COMPACT IT AT OPTIMUM MOISTURE CONTENT FOLLOWING THE SWMP
7. CONSTRUCT THE EMERGENCY SPILLWAY
8. REHABILITATE THE STRUCTURE FOLLOWING THE SWMP

NTS



1. LOCATE STOCKPILE AT LEAST 5m FROM EXISTING VEGETATION, CONCENTRATED WATER FLOWS, ROADS AND HAZARD AREAS
2. CONSTRUCT ON THE CONTOUR AS A LOW, FLAT, ELONGATED MOUND
3. WHERE THERE IS SUFFICIENT AREA TOPSOIL STOCKPILES SHALL BE LESS THAN 2m IN HEIGHT
4. REHABILITATE IN ACCORDANCE WITH THE SWMP/ESCP
5. CONSTRUCT EARTH BANK (SD 5-2) ON THE UPSLOPE SIDE TO DIVERT RUN OFF AROUND THE STOCKPILE AND A SEDIMENT FENCE (SD 6-7) 1 TO 2m DOWNSLOPE OF STOCKPILE

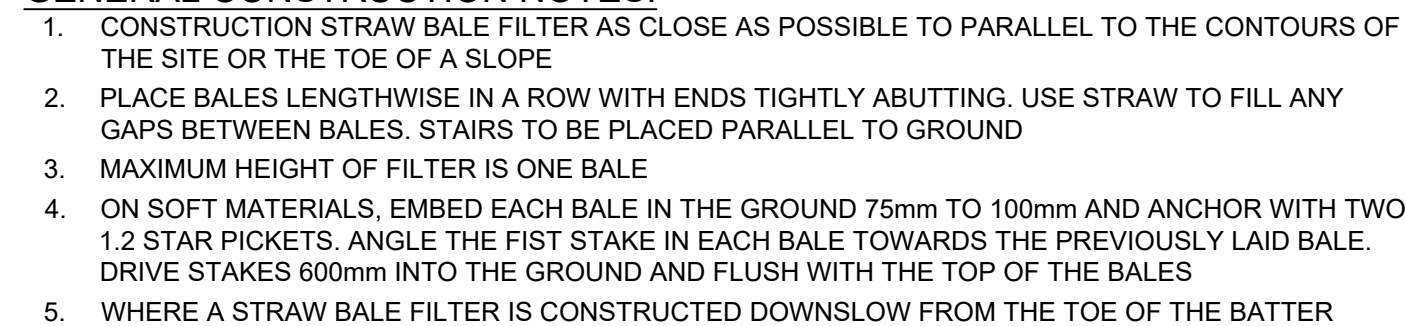
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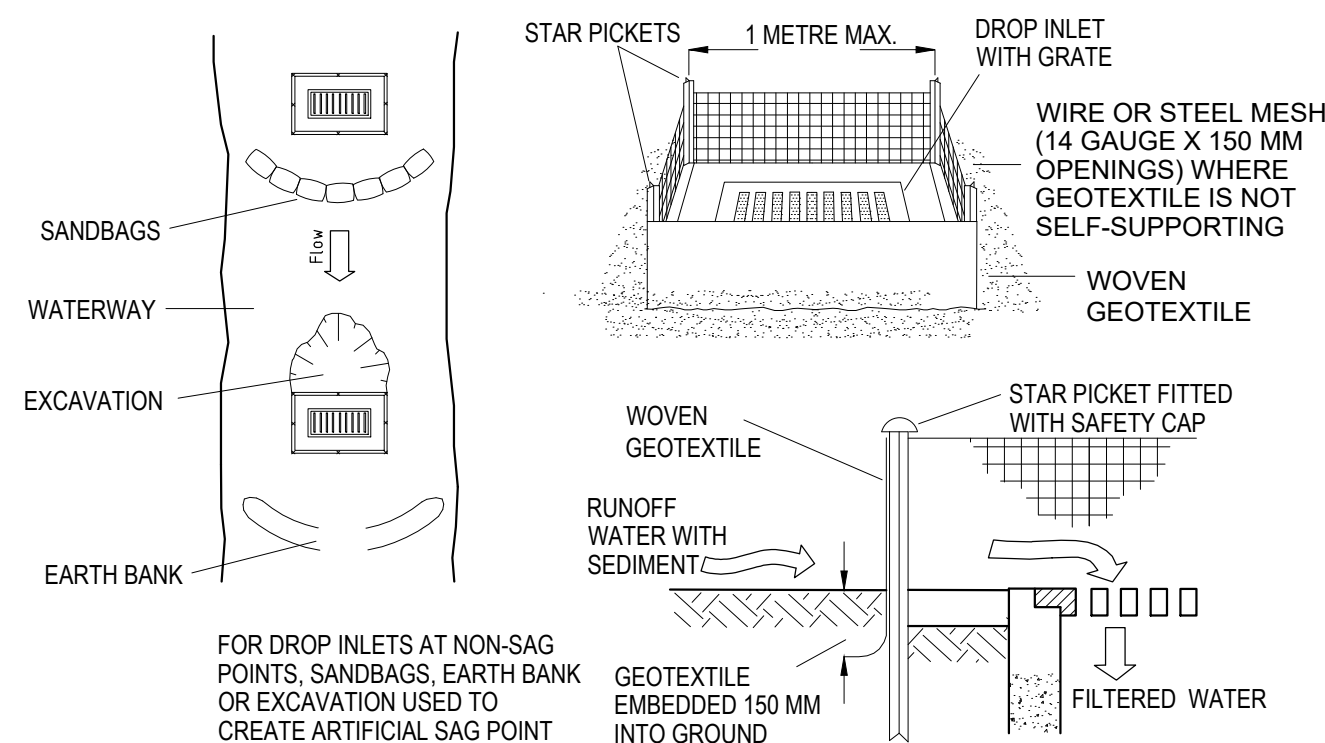
NOTE: THIS PRACTICE ONLY TO BE USED WHERE SPECIFIED IN AN APPROVED SWMP/ESCP.

1. INSTALL FILTERS TO KERB INLETS ONLY AT SAG POINTS.
2. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT AND FILL IT WITH 25 MM TO 50 MM GRAVEL.
3. FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150 MM HIGH X 400 MM WIDE.
4. PLACE THE FILTER AT THE OPENING LEAVING AT LEAST A 100-MM SPACE BETWEEN IT AND THE KERB INLET. MAINTAIN THE OPENING WITH SPACER BLOCKS.
5. FORM A SEAL WITH THE KERB TO PREVENT SEDIMENT BYPASSING THE FILTER.
6. SANDBAGS FILLED WITH GRAVEL CAN SUBSTITUTE FOR THE MESH OR GEOTEXTILE PROVIDING THEY ARE PLACED SO THAT THEY FIRMLY ABUT EACH OTHER AND SEDIMENT-LADEN WATERS CANNOT PASS BETWEEN.

NTS



NTS



1. FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE OR STRAW BALES.
2. FOLLOW STANDARD DRAWING 6-8 FOR INSTALLATION PROCEDURES FOR GEOBARRIER. REDUCE THE PICKET SPACING TO 1 METRE CENTRES.
3. IN WATERWAYS, ARTIFICIAL SAG POINTS CAN BE CREATED WITH SANDBAGS OR EARTH BANKS AS SHOWN IN THE DRAWING.
4. DO NOT COVER THE INLET WITH GEOTEXTILE UNLESS THE DESIGN IS ADEQUATE TO ALLOW FOR ALL WATERS TO BYPASS IT.

NTS

1		2		3		4	
REV.	DESCRIPTION	DRAWN	DESIGNED	VERIFIED	APPROVED	DATE	
1	ISSUED FOR DEVELOPMENT APPROVAL	DK	MS			26.10.2023	

ARCHITECT: **webber**



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PROJECT TITLE

CLIENT		
FAMILY & COMMUNITY SERVICES		
DRAWING STATUS		
DEVELOPMENT APPROVAL		
SCALE	COORDINATE SYSTEM	DATUM
AS SHOWN	-	AHD
SHEET SIZE	PROJECT NUMBER	
A1	8976-DA	

DRAWING TITLE	
EROSION AND SEDIMENT CONTROL NOTES AND DETAILS	

DRAWING NUMBER
810

REVISION
1